

Notice of Western BCP Planning Committee

Date: Thursday, 9 October 2025 at 10.00 am

Venue: HMS Phoebe, BCP Civic Centre, Bournemouth BH2 6DY



Membership:

Chair:

Cllr M Le Poidevin

Vice Chair:

Cllr J Clements

Cllr C Adams
Cllr J Challinor
Cllr A Chapmanlaw

Cllr G Farquhar
Cllr B Hitchcock
Cllr G Martin

Cllr S McCormack
Cllr K Salmon
Cllr P Sidaway

All Members of the Western BCP Planning Committee are summoned to attend this meeting to consider the items of business set out on the agenda below.

The press and public are welcome to view the live stream of this meeting at the following link:

<https://democracy.bcpCouncil.gov.uk/ieListDocuments.aspx?MIId=6141>

If you would like any further information on the items to be considered at the meeting please contact: Jill Holyoake on 01202 127564 or email democratic.services@bcpCouncil.gov.uk

Press enquiries should be directed to the Press Office: Tel: 01202 118686 or email press.office@bcpCouncil.gov.uk

This notice and all the papers mentioned within it are available at democracy.bcpCouncil.gov.uk

AIDAN DUNN
CHIEF EXECUTIVE

1 October 2025

**DEBATE
NOT HATE**



Available online and
on the Mod.gov app

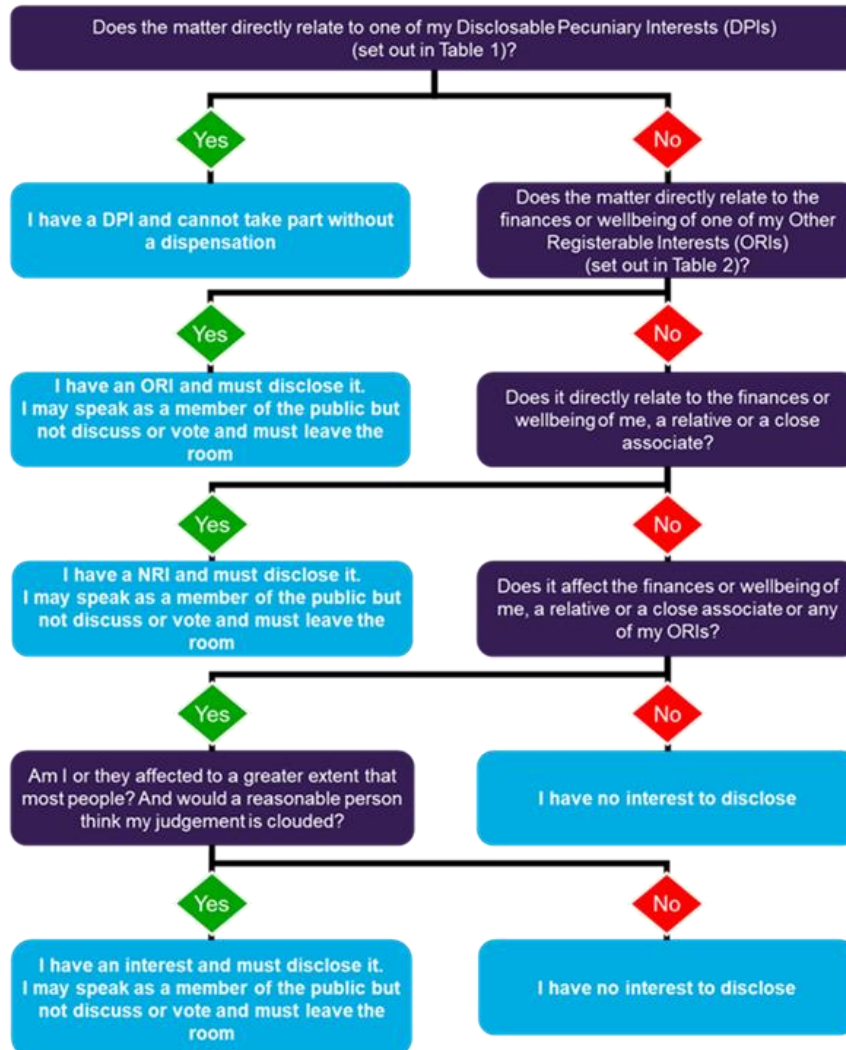


Maintaining and promoting high standards of conduct

Declaring interests at meetings

Familiarise yourself with the Councillor Code of Conduct which can be found in Part 6 of the Council's Constitution.

Before the meeting, read the agenda and reports to see if the matters to be discussed at the meeting concern your interests



What are the principles of bias and pre-determination and how do they affect my participation in the meeting?

Bias and predetermination are common law concepts. If they affect you, your participation in the meeting may call into question the decision arrived at on the item.

Bias Test

In all the circumstances, would it lead a fair minded and informed observer to conclude that there was a real possibility or a real danger that the decision maker was biased?

Predetermination Test

At the time of making the decision, did the decision maker have a closed mind?

If a councillor appears to be biased or to have predetermined their decision, they must NOT participate in the meeting.

For more information or advice please contact the Monitoring Officer

Selflessness

Councillors should act solely in terms of the public interest

Integrity

Councillors must avoid placing themselves under any obligation to people or organisations that might try inappropriately to influence them in their work. They should not act or take decisions in order to gain financial or other material benefits for themselves, their family, or their friends. They must declare and resolve any interests and relationships

Objectivity

Councillors must act and take decisions impartially, fairly and on merit, using the best evidence and without discrimination or bias

Accountability

Councillors are accountable to the public for their decisions and actions and must submit themselves to the scrutiny necessary to ensure this

Openness

Councillors should act and take decisions in an open and transparent manner. Information should not be withheld from the public unless there are clear and lawful reasons for so doing

Honesty & Integrity

Councillors should act with honesty and integrity and should not place themselves in situations where their honesty and integrity may be questioned

Leadership

Councillors should exhibit these principles in their own behaviour. They should actively promote and robustly support the principles and be willing to challenge poor behaviour wherever it occurs

AGENDA

Items to be considered while the meeting is open to the public

1. Apologies

To receive any apologies for absence from Members.

2. Substitute Members

To receive information on any changes in the membership of the Committee.

Note – When a member of a Committee is unable to attend a meeting of a Committee or Sub-Committee, the relevant Political Group Leader (or their nominated representative) may, by notice to the Monitoring Officer (or their nominated representative) prior to the meeting, appoint a substitute member from within the same Political Group. The contact details on the front of this agenda should be used for notifications.

3. Declarations of Interests

Councillors are requested to declare any interests on items included in this agenda. Please refer to the workflow on the preceding page for guidance.

Declarations received will be reported at the meeting.

4. Confirmation of Minutes

7 - 10

To confirm and sign as a correct record the minutes of the meeting held on 15 September 2025.

5. Public Issues

11 - 18

To receive any requests to speak on planning applications which the Planning Committee is considering at this meeting.

The deadline for the submission of requests to speak is 10.00am on Wednesday 8 October 2025 [10.00am of the working day before the meeting]. Requests should be submitted to Democratic Services using the contact details on the front of this agenda.

Further information about how public speaking is managed at meetings is contained in the Planning Committee Protocol for Public Speaking and Statements, a copy of which is included with this agenda sheet and is also published on the website on the following page:

<https://democracy.bcpccouncil.gov.uk/mgCommitteeDetails.aspx?ID=614>

Summary of speaking arrangements as follows:

Speaking at Planning Committee (in person or virtually):

- There will be a maximum combined time of five minutes to speak in objection and up to two persons may speak within the five minutes.

- There will be a further maximum combined time of five minutes to speak in support and up to two persons may speak within the five minutes.
- No speaker may speak for more than half this time (two and a half minutes) UNLESS there are no other requests to speak received by the deadline OR it is with the agreement of the other speaker.

Anyone who has registered to speak by the deadline may, as an alternative to speaking/for use in default, submit a written statement to be read out on their behalf. This must be provided to Democratic Services by 10.00am of the working day before the meeting, must not exceed 450 words and will be treated as amounting to two and a half minutes of speaking time.

Please refer to the full Protocol document for further guidance.

Note: The public speaking procedure is separate from and is not intended to replicate or replace the procedure for submitting a written representation on a planning application to the Planning Offices during the consultation period.

ITEMS OF BUSINESS

6. Schedule of Planning Applications

To consider the planning applications as listed below.

See planning application reports circulated with the agenda, as updated by the agenda addendum sheet to be published one working day before the meeting.

Councillors are requested where possible to submit any technical questions on planning applications to the Case Officer at least 48 hours before the meeting to ensure this information can be provided at the meeting.

The running order in which planning applications will be considered will be as listed on this agenda sheet.

The Chair retains discretion to propose an amendment to the running order at the meeting if it is considered expedient to do so.

Members will appreciate that the copy drawings attached to planning application reports are reduced from the applicants' original and detail, in some cases, may be difficult to read. To search for planning applications, please use the following link:

<https://www.bcpCouncil.gov.uk/planning-and-building-control/search-and-comment-on-planning-applications>

Councillors are advised that if they wish to refer to specific drawings or plans which are not included in these papers, they should contact the Case Officer at least 48 hours before the meeting to ensure that these can be made available.

To view Local Plans, again, the following link will take you to the main webpage where you can click on a tile to view the local plan for that area. The link is:

<https://www.bcpCouncil.gov.uk/Planning-and-building-control/Planning-policy/Current-Local-Plans/Current-Local-Plan.aspx>

a) **54 Howeth Road, Bournemouth BH10 5EB**

19 - 62

Redhill and Northbourne Ward

P-29232-270125

Construction of 3 new dwellings on land to rear of 54 Howell Road.

ITEMS FOR INFORMATION

7. Appeals Report

63 - 80

This report updates members of the planning committee on the Local Planning Authority's appeal performance over the stated period and is for information purposes only.

No other items of business can be considered unless the Chair decides the matter is urgent for reasons that must be specified and recorded in the Minutes.

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BOURNEMOUTH, CHRISTCHURCH AND POOLE COUNCIL
WESTERN BCP PLANNING COMMITTEE

Minutes of the Meeting held on 15 September 2025 at 10.00 am

Present:-

Cllr M Le Poidevin – Chairman

Cllr J Clements – Vice-Chairman

Present: Cllr J Challinor, Cllr A Chapmanlaw, Cllr G Farquhar, Cllr P Sidaway
and Cllr P Cooper

41. Apologies

Apologies were received from Cllrs B Hitchcock, G Martin, S McCormack and K Salmon.

42. Substitute Members

Cllr P Cooper substituted for Cllr G Martin

43. Declarations of Interests

There were none on this occasion.

44. Confirmation of Minutes

The minutes of the meeting held on 17 July were approved as a correct record.

45. Public Issues

There were a number of requests to speak on planning applications on the agenda as detailed under the individual applications below.

46. Schedule of Planning Applications

The Committee considered planning application reports, a copy of which had been circulated and which appear as Appendices A and B of these minutes in the Minute Book. A Committee Addendum Sheet was published on 12 September 2025 and appears as Appendix D to these minutes in the Minute Book. The individual planning applications are detailed below:

47. 281 - 291 Bournemouth Road

Penn Hill Ward
APP/24/00498/P

Demolition existing buildings and erect up to 15 dwellings in three with associated parking and access.

Public Representations

Objectors:

- ❖ Danielle Ostler and Duncan Jamieson

Applicant/Supporters

- ❖ Giles Moir, Agent and Paul Sheehy, applicant

Ward Councillors:

- ❖ None

RESOLVED to REFUSE permission contrary to the recommendation set out in the officer's report for the following reasons as discussed by the Committee and which are subject to the final wording being agreed with the Chair and Vice-Chair:

- The cramped form of development resulting in substandard external amenity space for Block A to the rear of the development site, contrary to PP27 of the Poole Local Plan and paragraph 135(f) of the National Planning Policy Framework.
- The proximity of Block A to the residential properties at the rear of the site will create a harmful level of overlooking resulting in harm to residential amenity contrary to Poole Local Policy PP27 and paragraph 135(f) of the National Planning Policy Framework.
- Lack of Section 106 contributions.

Voting: Unanimous

48. 310 Sandbanks Road, Poole BH14 8HZ

Canford Cliffs Ward

P/25/00183/FUL

Sever plot and erect a detached dwelling with associated access, parking and landscaping works.

Public Representations

Objectors

- ❖ Dorset Lakes Community by written statement

Applicant/Supporters

- ❖ Matt Annen

Ward Councillors

- ❖ Cllr Gavin Wright by written statement

RESOLVED to GRANT permission in accordance with the officer recommendation and the conditions as set out in the officer's report and amended by the published addendum.

Voting: For: 6; against: 1; Abstentions: 0

49. Appeals report

The Development Management Manager presented a report, a copy of which had been circulated to each Member and a copy of which appears as Appendix 'D' to these Minutes in the Minute Book. The report provided an update to the Western Planning Committee on the Local Planning Authorities Appeal performance over the stated period. The Committee were informed that the Council were meeting national targets.

The Western Planning Committee requested that in future the report indicate whether the decisions were by officers or by a Planning Committee.

RESOLVED that the planning committee note the contents of the report.

Voting: Nem. Con.

The meeting ended at 11.56 am

CHAIRMAN

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PLANNING COMMITTEE - PROTOCOL FOR SPEAKING / STATEMENTS AT PLANNING COMMITTEE

1. Introduction

- 1.1 The following protocol facilitates opportunities for applicant(s), objector(s) and supporter(s) to express their views on planning applications which are to be considered at a Planning Committee meeting. It does not therefore relate to any other item considered at Planning Committee in respect of which public speaking/questions shall only be permitted at the discretion of the Chair.
- 1.2 This protocol is separate from and is not intended to replicate or replace the procedure for submitting a written representation on a planning application to the Council during the consultation period.
- 1.3 **The email address for any person who wishes to register a request to speak and / or submit a statement for the purposes of this protocol or to correspond with Democratic Services on any aspect of this protocol is democratic.services@bcpcouncil.gov.uk**

2. Order of presentation of an application

- 2.1 The running order in which planning applications are heard will usually follow the order as appears on the agenda unless the Planning Committee otherwise determines.
- 2.2 In considering each application the Committee will normally take contributions in the following order:
 - a) presenting officer(s);
 - b) objector(s);
 - c) applicant(s) /supporter(s);
 - d) councillor who has called in an application (who is not a voting member of the Planning Committee in relation to that application) / ward councillor(s);
 - e) questions and discussion by voting members of the Planning Committee, which may include seeking points of clarification.

3. Guidance relating to the application of this protocol

- 3.1 The allocation of an opportunity to speak / provide a statement to be read out at Planning Committee under this protocol is not intended as a guarantee of a right to speak / have a statement read out.
- 3.2 The Chair has absolute discretion as to how this protocol shall be applied in respect of any individual application so far as it relates to the conduct of the

meeting and as provided for in this protocol including whether in any circumstance it should be waived, added to or otherwise modified. This discretion includes the opportunity to speak (or submit a statement), varying the speaking time allowed and the number of speakers. In the event of any uncertainty as to the interpretation or application of any part of this protocol a determination by the Chair will be conclusive.

- 3.3 A failure to make a request to speak / submit a statement in accordance with any one or more of the requirements of this protocol will normally result in the request / submission of the statement not being treated as validly made and therefore not accepted.

4. Electronic facilities relating to Planning Committee

- 4.1. All electronic broadcasting and recording of a Planning Committee meeting by the Council and the provision of an opportunity to speak remotely at such a meeting is dependent upon such matters being accessible, operational and useable during the meeting. As a consequence, a meeting other than a wholly virtual meeting may proceed, including consideration of all applications relating to it, even if it cannot be electronically broadcast, recorded and/or any person is unable to speak / be heard at the time when the opportunity to do so on an application is made available.

5. Attending in person at a Planning Committee meeting / wholly virtual meetings

- 5.1. Unless otherwise stated on the Council's website and/or the agenda Planning Committee will be held as a physical (in person) meeting. A Planning Committee meeting will only be held as a wholly virtual meeting during such time as a decision has been taken by BCP Council that committee meetings of the Council may be held in this way. In the event of there being a discretion as to whether a Planning Committee meeting shall be held as a wholly virtual meeting, then the Head of Planning in consultation with the Chair shall be able to determine whether such a discretion should be applied.

6. Provisions for speaking at Planning Committee (whether in person or remotely)

- 6.1. Any applicant, objector or supporter who wishes to speak at a Planning Committee meeting must register a request to speak in writing with Democratic Services at democratic.services@bcpcouncil.gov.uk by **10.00 am of the working day before the meeting.**
- 6.2. A person registering a request to speak must:
- a) make clear as to the application(s) on which they wish to speak and whether they support or oppose the application; and
 - b) provide contact details including a telephone number and/or email address at which they can be reached / advised that they have been given an opportunity to speak.

- 6.3. There will be a maximum combined time of **five** minutes allowed for any person(s) objecting to an application to speak. A further combined **five** minute maximum will also be allowed for any supporter(s). Up to **two** people may speak during each of these allotted times (the applicant(s) and any agent for the applicant(s) will each count as separate speakers in support). No speaker may speak for more than half this time (i.e. **two and a half minutes**) unless:
- a) there is no other speaker who has also been allotted to speak for the remainder of the five minutes allowed;
 - b) or the other allotted speaker fails to be present or is unable to be heard (in the case of remote speaking), at the Planning Committee meeting at the time when the opportunity to speak on the application is made available; or
 - c) the other allotted speaker expressly agrees to the speaker using more than half of the total speaking time allowed.
- 6.4. If more than two people seek to register a wish to speak for either side, an officer from Democratic Services may ask those seeking the opportunity to speak to appoint up to two representatives to address the Planning Committee. In the absence of agreement as to representatives, entitlement to speak will normally be allocated in accordance with the order when a request was received by Democratic Services. However, in the event of an applicant(s) and / or the agent of the applicant(s) wishing to speak in support of an application such person(s) will be given the option to elect to speak in preference to any other person registered to speak in support.
- 6.5. A person registered to speak may appoint a different person to speak on their behalf. The person registered to speak should normally notify Democratic Services of this appointment prior to the time that is made available to speak on the application.
- 6.6. A person may at any time withdraw their request to speak by notifying Democratic Services by email or in person on the day of that meeting. However, where such a withdrawal is made after the deadline date for receipt of requests then the available slot will not be made available for a new speaker. In cases where more than two requests to speak within the allocated five minutes were received by the deadline, Democratic Services will, where practicable, reallocate the slot in date receipt order.
- 6.7. During consideration of a planning application at a Planning Committee meeting, no question should be put or comment made to any councillor sitting on the Planning Committee by any applicant, objector or supporter whether as part of a speech or otherwise.

7. Questions to person speaking under this protocol

- 7.1. Questions will not normally be asked of any person who has been given the opportunity to speak for the purpose of this Protocol. However, the Chair at their absolute discretion may raise points of clarification.

8. Speaking as a ward councillor or other BCP councillor (whether in person or remotely)

- 8.1. Any ward councillor shall usually be afforded an opportunity to speak on an application at the Planning Committee meeting at which it is considered. Every ward councillor who is given the opportunity to speak will have up to **five** minutes each.
- 8.2. At the discretion of the Chair, any other councillor of BCP Council not sitting as a voting member of the Planning Committee may also be given the opportunity to speak on an application being considered at Planning Committee. Every such councillor will have up to **five** minutes each.
- 8.3. Any member of the Planning Committee who has exercised their call in powers to bring an application to the Planning Committee for decision should not vote on that item but subject to any requirements of the Member Code of Conduct, may have or, at the discretion of the Chair, be given the opportunity to speak in connection with it as a ward councillor or otherwise in accordance with the speaking provisions of this protocol. Such a member will usually be invited after speaking to move themselves from the area where voting members of the Planning Committee are sitting and may be requested to leave the room until consideration of that application has been concluded.

9. Speaking as a Parish or Town Council representative (whether in person or remotely)

- 9.1. A Parish or Town Council representative who wishes to speak as a representative of that Parish or Town Council must register as an objector or supporter and the same provisions for speaking as apply to any other objector or supporter applies to them. This applies even if that representative is also a councillor of BCP Council.

10. Content of speeches (whether in person or remotely) and use of supporting material

- 10.1. Speaking must be done in the form of an oral representation. This should only refer to planning related issues as these are the only matters the Planning Committee can consider when making decisions on planning applications. Speakers should normally direct their points to reinforcing or amplifying planning representations already made to the Council in writing in relation to the application being considered. Guidance on what constitutes planning considerations is included as part of this protocol. Speakers must take care to avoid saying anything that might be libellous, slanderous, otherwise abusive to

any person or group, including the applicant, any officer or councillor or might result in the disclosure of any personal information for which express consent has not been given.

- 10.2. A speaker who wishes to provide or rely on any photograph, illustration or other visual material when speaking (in person or remotely) must submit this to Democratic Services **by 12 noon two working days before the meeting**. All such material must be in an **electronic** format to be agreed by Democratic Services and will usually be displayed on the speaker's behalf by the presenting officer. The maximum number of slides to be displayed must not exceed **five**. Material provided after this time or in a format not agreed will not be accepted. The circulation or display of hard copies of such material at the Planning Committee meeting itself will normally not be allowed. In the interests of fairness, any material to be displayed must have already been submitted to and received by the Council as part of a representation/submission in relation to the application by the date of agenda publication for that Planning Committee meeting.
- 10.3. The ability to display material on screen is wholly dependent upon the availability and operation of suitable electronic equipment at the time of the Planning Committee meeting and cannot be guaranteed. Every person making a speech should therefore ensure that it is not dependent on such information being displayed.

11. Remote speaking at Planning Committee

- 11.1. In circumstances where the Council has put in place electronic facilities which enable a member of the public to be able to speak remotely to a Planning Committee meeting, a person may request the opportunity to speak remotely via those electronic facilities using their own equipment. In circumstances other than a wholly virtual meeting this would be as an alternative to attending the meeting in person. The provisions of this protocol relating to speaking at Planning Committee shall, unless the context otherwise necessitates, equally apply to remote speaking.
- 11.2. The opportunity to speak remotely is undertaken at a person's own risk on the understanding that should any technical issues affect their ability to participate remotely the meeting may still proceed to hear the item on which they wish to speak without their participation.
- 11.3. A person attending to speak remotely may at any time be required by the Chair or the Democratic Services Officer to leave any electronic facility that may be provided.

12. Non-attendance / inability to be heard at Planning Committee

- 12.1. It is solely the responsibility of a person who has been given an opportunity to speak on an application at a Planning Committee meeting (whether in person or remotely) to ensure that they are present for that meeting at the time when an opportunity to speak is made available to them.
- 12.2. A failure / inability by any person to attend and speak in person or remotely at a Planning Committee meeting at the time made available for that person to speak on an application will normally be deemed a withdrawal of their wish to

speaking on that application. This will not therefore usually be regarded as a reason of itself to defer or prevent an application from being heard.

- 12.3. This protocol includes provisions enabling the opportunity to provide a statement as an alternative to speaking in person / as a default option in the event of a person being unable to speak at the appropriate meeting time.

13. Submission of statement as an alternative to speaking / for use in default

- 13.1. A person (including a councillor of BCP Council) who has registered to speak, may submit a statement to be read out on their behalf as an alternative to speaking at a Planning Committee meeting (whether in person or remotely).
- 13.2. Further, any person speaking on an application at Planning Committee may, at their discretion, additionally submit a statement which can be read out as provided for in this protocol in the event of not being able to attend and speak in person or remotely at the time when an opportunity is made available for that person to speak on the application. The person should identify that this is the purpose of the statement.

14. Provisions relating to a statement

- 14.1 Any statement submitted for the purpose of this protocol:
- a) must not exceed **450** words in total unless the statement is provided by a ward councillor or any other councillor who is not voting on the application under consideration in which case the statement may consist of up to **900** words;
 - b) must have been received by Democratic Services by **10.00am of the working day before the meeting** by emailing democratic.services@bcpcouncil.gov.uk
 - c) when submitted by a member of the public (as opposed to a councillor of BCP Council), will be treated as amounting to **two and a half minutes** of the total time allotted for speaking notwithstanding how long it does in fact take to read out;
 - d) must not normally be modified once the deadline time and date for receipt of the statement by Democratic Services has passed unless such modification is requested by an officer from Democratic Services; and
 - e) will normally be read out aloud by an officer from Democratic Services having regard to the order of presentation identified in this protocol.
- 14.2 A person who has been given the right to speak and who has submitted a statement in accordance with this protocol may at any time withdraw that statement prior to it being read out by giving notice to Democratic Services. Where such withdrawal occurs after the deadline date for registering a request to speak has passed, then a further opportunity for a statement to be submitted will not be made available. If the statement that has been withdrawn was submitted as an alternative to speaking, then if the person

withdrawing the statement wishes instead to exercise their opportunity to speak in person they should notify Democratic Services on or before the time of withdrawing the statement.

15. Assessment of information / documentation / statement

- 15.1. BCP Council reserves the right to check any statement and any information / documentation (including any photograph, illustration or other visual material) provided to it for use at a Planning Committee meeting and to prevent the use of such information / documentation in whole or part, in particular, if it:
- a) is considered to contain information of a kind that might be libellous, slanderous, abusive to any party including an applicant or might result in the disclosure of any personal information for which express consent has not been given; and / or
 - b) is identified as having anything on it that is considered could be an electronic virus, malware or similar.
- 15.2 The Head of Planning in consultation with the Chair shall have the absolute discretion to determine whether any such statement / information / documentation should not be used / read out in whole or part. If circumstances reasonably permit, Democratic Services may seek to request a person modify such statement / information / documentation to address any issue identified.

16. Guidance on what amounts to a material planning consideration

- 16.1. As at the date of adoption of this protocol, the National Planning Portal provides the following guidance on material planning considerations:

“A material consideration is a matter that should be taken into account in deciding a planning application or on an appeal against a planning decision. Material considerations can include (but are not limited to):

- *Overlooking/loss of privacy*
- *Loss of light or overshadowing*
- *Parking*
- *Highway safety*
- *Traffic*
- *Noise*
- *Effect on listed building and conservation area*
- *Layout and density of building*
- *Design, appearance and materials*
- *Government policy*
- *Disabled persons' access*
- *Proposals in the Development Plan*
- *Previous planning decisions (including appeal decisions)*
- *Nature conservation*

However, issues such as loss of view, or negative effect on the value of properties are not material considerations.”

https://www.planningportal.co.uk/faqs/faq/4/what_are_material_considerations#:~:text=A%20material%20consideration%20is%20a,Loss%20of%20light%20or%20overshadowing

Note

For the purpose of this protocol:

- (a) reference to the “Chair” means the Chair of Planning Committee and shall include the Vice Chair of Planning Committee if the Chair is at any time unavailable or absent and the person presiding at the meeting of a Planning Committee at any time that both the Chair and Vice Chair of Planning Committee are unavailable or absent;
- (b) reference to the Head of Planning includes any officer nominated by them for the purposes of this protocol and if at any time the Head of Planning is unavailable, absent or the post is vacant / ceases to exist, then the Development Management Manager or if also unavailable / absent or that post is vacant/no longer exists then the next most senior officer in the development management team (or any of them if more than one) who is first contactable;
- (c) reference to ‘ward councillor’ means a councillor in whose ward the application being considered at a meeting of Planning Committee is situated in whole or part and who is not a voting member of the Planning Committee in respect of the application being considered; and
- (d) a “wholly virtual meeting” is a Planning Committee meeting where no one including officers and councillors physically attend the meeting; however, a meeting will not be held as a “wholly virtual meeting” unless legislation permits

Adopted by the Planning Committee on 17.11.22 and updated on 20.7.23



Planning Committee

Application Address	54 Howeth Road Bournemouth BH10 5EB
Proposal	Construction of 3 new dwellings on land to rear of 54 Howeth Road
Application Number	P-29232-270125
Applicant	Mark Parsons
Agent	Darren Henderson -Studio Maiva
Ward and Ward Member(s)	Redhill & Northbourne
Report status	Public
Meeting date	9 October 2025
Summary of Recommendation	Grant in accordance with the details set out below
Reason for Referral to Planning Committee	<p>Councillor Stephen Bartlett for the following reasons:</p> <p><i>The proposed development is contrary to Retained Policy 6.8 of the Bournemouth District Wide Local Plan in that the development does not complement and respect the character and amenity of neighbouring development, the development does not provide a high standard of layout and design that ensures adequate privacy for the occupants of the building and of adjacent residential properties. The proposed development is contrary to the Bournemouth Local Plan Core Strategy Policy CS21 in that the development does not respect residents' amenities. The proposed development is contrary to Bournemouth Local Plan Core Strategy Policy CS41 in that the development does not enhance the character, local distinctiveness, amenities of future and neighbouring residents, and does not improve biodiversity and habitats.</i></p>
Case Officer	Steve Davies
Is the Proposal EIA Development?	No

Description of Proposal

1. Planning consent is sought to develop a parcel of land with a pair of 3 bedroom semi-detached houses and a 2 bedroom chalet style detached dwelling. Access to the site is by way of the existing private driveway for 54 Howeth Road. The new dwelling will be served by a private shared driveway with a communal parking area in front of the dwelling providing 2 car spaces each. 2 car spaces are also provided to serve the existing property.

Description of Site and Surroundings

2. The application site comprises the existing rear garden of 54 Howeth Road and a plot of land that has remained undeveloped since the Copper Beech Gardens development was built in the 1990's. The plots appears to have at one time in the past been part of the long back gardens to 50 and 52 Kingswell Road. The plots has been fenced off from gardens and was until recently overgrown. The site had been cleared of some vegetation although recently has since started to regrow.
3. Properties in Kingswell Road and Howeth Road comprise mainly detached 2 storey family dwellings. Copper Beech Gardens was developed by utilising the rear garden areas. It is a more modern estate development with mainly 2 storey terraced dwellings

Relevant Planning History

PRE-29232	54 Howeth Road	Pre-application meeting to discuss the erection of 3 detached dwellings	Principle considered acceptable but design changes required	Aug 2024
7-1984-11348-H	Rear of 20-48 Kingswell Road	Erection of 24 dwellinghouses & garages, formation of access road and parking areas - amended plan in part to 7/84/11348/G.	GRANTED	22/5/85
7-1979-11348-B	Rear of 8 -50 Kingswell Road	Approval in Principle – Erection of 30 dwellings	GRANTED	1/4/80

Constraints

4. The site lies within the Dorset Heathlands buffer zone and the New Forest zone of interest for the purposes of impact on protected species. No Tree Preservation Order. No Heritage assets.

Public Sector Equalities Duty

5. In accordance with section 149 Equality Act 2010, in considering this proposal due regard has been had to the need to —
 - eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under this Act;
 - advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;
 - foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Other relevant duties

6. In accordance with regulation 9(3) of the Conservation of Habitats and Species Regulations 2017 (as amended) (“the Habitat Regulations), for the purposes of this application, appropriate regard has been had to the relevant Directives (as defined in the Habitats Regulations) in so far as they may be affected by the determination.
7. With regard to sections 28G and 28I (where relevant) of the Wildlife and Countryside Act 1981, to the extent consistent with the proper exercise of the function of determining this application and that this application is likely to affect the flora, fauna or geological or physiographical features by reason of which a site is of special scientific interest, the duty to take reasonable steps to further the conservation and enhancement of the flora, fauna or geological or physiographical features by reason of which the site is of special scientific interest.
8. For the purposes of section 40 Natural Environment and Rural Communities Act 2006, in assessing this application, consideration has been given as to any appropriate action to further the “general biodiversity objective”.
9. For the purposes of this application, in accordance with section 17 Crime and Disorder Act 1998, due regard has been had to, including the need to do all that can reasonably be done to prevent, (a) crime and disorder in its area (including anti-social and other behaviour adversely affecting the local environment); (b) the misuse of drugs, alcohol and other substances in its area; and (c) re-offending in its area.
10. For the purposes of this report regard has been had to the Human Rights Act 1998, the Human Rights Convention and relevant related issues of proportionality.

Consultations

BCP Highways – Minor Development

11. No objections raised overall. The transport officer is satisfied with the road layout, access and parking provision for cars and storage of bikes.

BCP Waste & Recycling

13. Bin provision can be met and collection point provided. Residents should present their bins at bin collection area and return them to their property boundaries once they have been emptied

BCP Ecology

14. The Council's ecologist has flagged the need to ensure that any works ensure that protected species are not compromised and that the Biodiversity Net Gain (BNG) requirements are met in full. Appropriate conditions are recommended.

BCP Trees & Landscaping

15. Impact on trees is acceptable subject to an Arboricultural Method Statement.

BCP Biodiversity Net Gain

16. BNG response has been recorded, please see the comments in report below for further details.

Representations

17. Representations objecting to the proposal have been submitted from the occupants of 10 properties that adjoin the application site. The main concerns can be summarised as follows.
- Loss of privacy
 - Impact on wildlife
 - Out of scale and inappropriate design
 - Noise nuisance and loss of amenity
 - Lack of parking and dangerous access point
 - Unsightly parking area
 - Poor location of bins
 - Impact on biodiversity

Key Issues

18. The key issue(s) involved with this proposal are:
- Impact on character and appearance of the area
Impact on residential amenity of neighbours
Parking and transport issues
Biodiversity net gain and Heathlands
19. These issues will be considered along with other matters relevant to this proposal below.

Policy Context

20. Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that planning applications must be determined in accordance with the development plan

for an area, except where material considerations indicate otherwise. The development plan in this case comprises the Bournemouth Local Plan. Various Development Plan Documents (DPD) make up the Local Plan, the Bournemouth Local Plan: Core Strategy (October 2012) being the overarching document. The Core Strategy has superseded the Bournemouth District Wide Local Plan (DWLP) as the strategic policy framework for the Borough although various policies in the DWLP have been retained as 'saved' policies. The Core Strategy covers the period 2006 to 2026. The following Policies are considered relevant to the current application:

Bournemouth Local Plan – Core Strategy

- CS16 Parking Standards (core strategy 2012)
- CS21 Housing Distribution Across Bournemouth (core strategy 2012)
- CS33 Heathland (Bournemouth core strategy 2012)
- CS35 Nature Conservation/Biodiversity
- CS38 Minimising Pollution (core strategy 2012)
- CS41 Quality Design (core strategy 2012)

District Wide Local Plan

- 6.8 Residential Infill (Bournemouth district wide local plan 2002)
- 4.25 Landscaping (Bournemouth district wide local plan 2002)

National Planning Policy Framework 2024 ("NPPF" / "Framework")

21 Including in particular the following:

Section 2 – Achieving Sustainable Development

Paragraph 11 –

"Plans and decisions should apply a presumption in favour of sustainable development.

.....

For decision-taking this means:

- (c) approving development proposals that accord with an up-to-date development plan without delay; or
- (d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:
 - (i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
 - (ii) any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies of this Framework taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination."

Planning Assessment

Presumption in favour of sustainable development/Principle of development

- 22 At the heart of the NPPF is the presumption in favour of sustainable development. NPPF paragraph 11 states that in the case of decision making, the presumption in favour of sustainable development means that where there are no relevant development plan policies, or the policies which are most important for determining the application are out of date, planning permission should be granted unless policies in the Framework that protect areas of assets of particular importance provide a clear reason for refusing the development proposals or any adverse impacts of granting permission would significantly and demonstrably outweigh the benefits when assessed against the policies in the Framework taken as a whole.
- 23 Footnote 8 of paragraph 11 provides that in the case of applications involving the provision of housing, relevant policies are out of date if the local planning authority is (i) unable to demonstrate a five-year supply of deliverable housing sites or (ii) where the Housing Delivery Test (HDT) result is less than 75% of the housing requirement over the previous three years.
- 24 The NPPF (2024) paragraph 78 requires local planning authorities to identify and update a supply of specific deliverable sites sufficient to provide a minimum of five years' worth of housing. Paragraph 78 goes on to state that the supply should be demonstrated against either the housing requirement set out in adopted strategic policies, or against the local housing need where the strategic policies are more than five years old. Where the Housing Delivery Test indicates delivery has fallen below the local planning authority's housing requirement over the previous three years, a buffer should be included as set out in paragraph 79 of the NPPF.
- 25 At 1 April 2024 BCP Council had a housing land supply of **2.1** years against a 5-year housing requirement that includes a 20% buffer. For the purposes of paragraph 11 of the NPPF, it is therefore appropriate to regard relevant housing policies as out of date as the local planning authority is unable to demonstrate a five-year supply of homes.
- 26 In this instance, the scheme would provide 3 additional dwellings that would contribute towards the Council's housing delivery target on a site that is close to transport links and therefore a "preferred site". Overall, there is no objection to the principle of the proposed development, subject to its compliance with the adopted local policies. This is assessed below.
- 27 For this planning application the benefits provided from the supply of new homes are considered to carry significant weight in the planning balance.

Impact on the character and appearance of the area

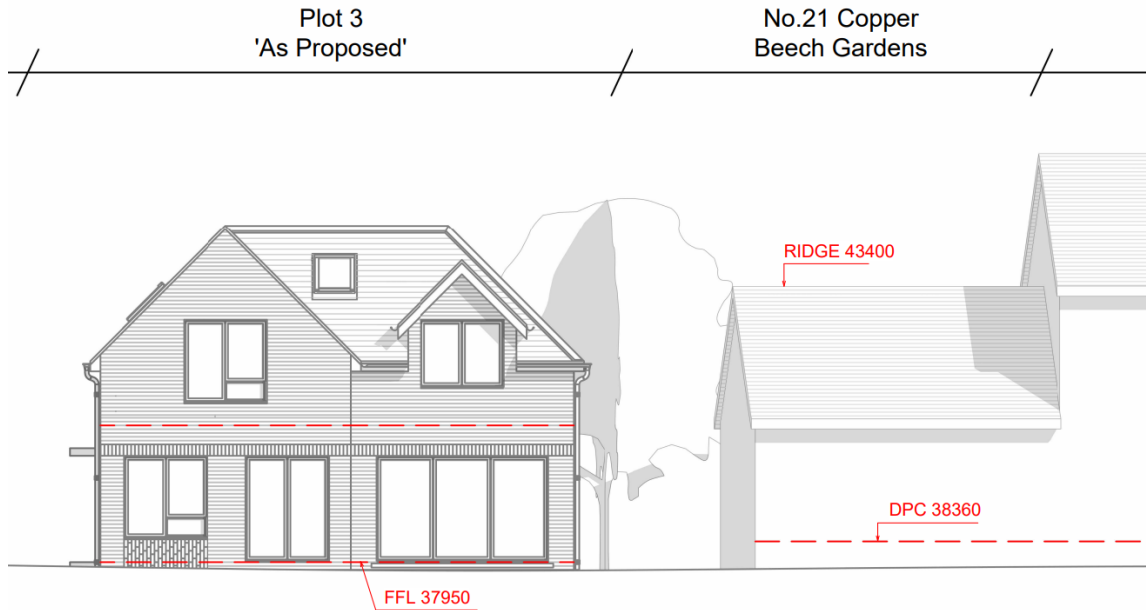
- 28 In accordance with policy CS41 of the core strategy development proposals should be designed to respect the site and its surroundings. The main issue is whether the proposed dwellings will appear squeezed and out of character. Given that all adjacent dwellings apart from the terraced bungalow in Copper Beech Gardens are two storey in height a two storey development would not be out of character in principle. As this is a suburban location where properties have good sized gardens it will also be necessary to have adequate spacing between

properties. The distances to the rear of the properties in Copper Beech Gardens is about 12.5m and a greater distance is proposed to the properties in Howeth Road and Kingswell Road. This spacing is not unusual in the locality. At the pre-application stage two detached properties were proposed however, a better approach has been to make the two detached dwellings a semi to have better spacing to the boundaries. Similarly, because of the relationship of the unit adjacent to the bungalow in Copper Beech Gardens a chalet bungalow is proposed and this would improve the relationship to the existing development. Whilst the existing openness of the site will be eroded it is considered that the development is compatible with the general character of the area and it will not appear out of place between the existing properties.

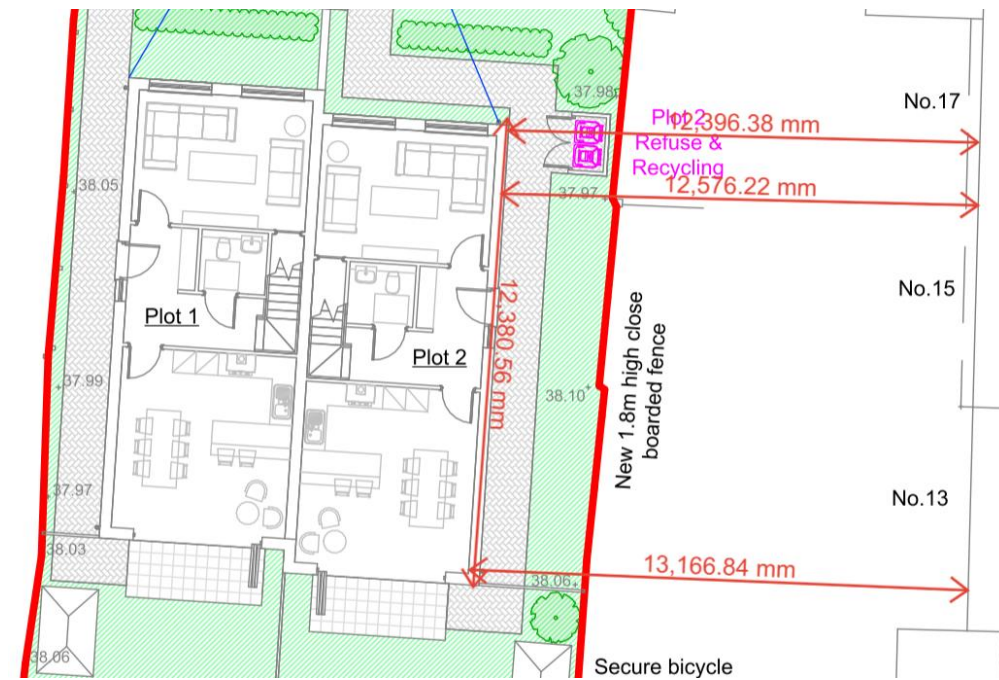
- 29 Because of the parking requirements the amount of development coverage on the site has increased considerably with much of the space given over to parking access and general tarmac. The large open forecourt is not ideal given the current verdant character of the site. However, this will not be generally apparent from outside of the site and the proposed landscaping scheme which now includes communal areas and tree planting will ensure that there is a reasonable green setting to the development. Also there will be a requirement to meet the Biodiversity Net Gain requirements and there is scope to introduce some replacement landscaping on the site.
- 30 While the site currently comprises a wild green space that contributes positively to local ecology and offers a pleasant outlook for neighbours, it is not designated as a protected or critical area within the local environmental framework. The space is privately owned, not publicly accessible, and is primarily overlooked by surrounding gardens rather than forming part of the public realm. Its presence is somewhat unusual in an urban setting and its loss is acknowledged.
- 31 To conclude, the proposed development is considered to be in keeping with the general pattern of surrounding development and will not result in an appearance of over-congestion. As such, the proposal is deemed to comply with Policy CS21 and CS41 of the Core Strategy and Policy 6.8 of the District Wide Local Plan.

Impact on living conditions

- 32 21 Copper Beech Gardens: This property is a low rise bungalow attached to the end of terrace. It has its front door and a window facing the application site where a chalet style dwelling is proposed. The building to building distance is about 3m at the closest point. As this is not a principle elevation it is considered that the spacing is acceptable will therefore not be overbearing to them. The relationship is shown in the drawing below.



- 33 The pair of semi detached properties will face the bungalow however, the distance is over 25m which exceeds the 22m recommended to prevent overlooking.
- 34 13 to 19 Copper Beech Gardens. These properties directed face the side elevation of the pair of semi-detached properties. The residential design guidance suggests a minimum spacing of 12.5m between a side flank wall and the rear elevation of a property. The drawing below shows that this can be achieved.



- 35 The proposed two-storey development has been assessed in relation to its impact on the outlook of existing neighbouring properties. It is acknowledged that the introduction of a built form of this scale may alter the current visual

environment for nearby residents. However, the development is considered acceptable in this context due to the provision of a 12.5 metre separation distance between the new building and the rear elevations of the existing dwellings. This distance aligns with the recommendations set out in the Council's Residential Design Guidance, which suggests that a minimum of 12.5 metres is generally sufficient to maintain an acceptable level of outlook and avoid an overbearing relationship between buildings.

- 36 Further to the separation distance, the impact is mitigated by the following factors:

No direct overlooking: The proposed development has been designed to avoid the inclusion of windows that would directly overlook the habitable rooms or private amenity spaces of these neighbouring properties.

Soft landscaping potential: There is adequate space between the development and the site boundary to allow for the introduction of soft landscaping. This can provide visual screening and enhance the overall amenity of the area, contributing positively to the residential environment.

- 37 While the development will inevitably result in some change to the outlook from neighbouring properties, the proposal is considered to strike an appropriate balance between accommodating new housing and protecting existing residential amenity. The separation distance, absence of direct overlooking, and potential for landscaping collectively ensure that the impact is not considered to be significantly harmful.
- 38 48 to 52 Howeth Road The relationship between the properties and the development is similar to that set out in relation to Copper Beech Gardens. Whilst there is no scope for soft landscaping the distance is over 22m and therefore the impact is considered acceptable.
- 39 54 and 56 Howeth Road These properties will be affected as proposed development also includes a chalet-style dwelling positioned close to the shared boundary with 56 Howeth Road. This element of the scheme features eaves at approximately 4 metres in height, which introduces a more immediate presence when viewed from the rear garden of No. 56. While this may result in some perceptible change to the garden outlook, the impact is considered limited in scope, affecting only the rear garden area rather than the habitable rooms of the property.
- 40 The potential for overshadowing has been acknowledged, particularly given the southern orientation of the new dwelling relative to No. 56. However, the extent of overshadowing is not considered significant, and would primarily occur during limited periods of the day. Importantly, the design avoids any overlooking windows at upper floor level, thereby preserving privacy. Additionally, there is scope for a hedge or other soft landscaping along the boundary, which would help to soften the visual impact and enhance the sense of separation between the properties

- 41 Properties in Kingswell Road The properties in Kingswell Road have 20m long rear gardens so the proposed development will be a total of over 28m distant. Whilst the rear window will overlook the impact is considered acceptable.

Biodiversity

Biodiversity net gain required

- 42 *Paragraph Biodiversity net gain required*
- 42 Paragraph 40 of the Natural Environment and Rural Communities Act, under the heading of 'duty to conserve biodiversity' states "every public authority must, in exercising its functions, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity."
- 43 The NPPF at chapter 15 'conserving and enhancing the natural environment' sets out government views on minimising the impacts on biodiversity, providing net gains where possible and contributing to halt the overall decline in biodiversity. The Local Plan at Policy CS35 – biodiversity and geodiversity, sets out policy requirements for the protection and where possible, a net gain in biodiversity.
- 44 In addition, a 10% biodiversity net gain (BNG) is required as per the Environment Act 2021.
- 45 An ecological impact assessment and Statutory Biodiversity Metric have been submitted with the application. This has been amended since the original submission
- 46 The existing site can be split into two sections. The existing house and curtilage garden which has been included in the metric as 'vegetated garden', and the adjacent land which comprises bramble scrub and hedges. There were also 4 trees within the bramble area which have been felled prior to the application being submitted.
- 47 The proposed development would see the loss of two medium distinctiveness habitats, bramble scrub and urban trees, both of which make up a significant proportion of the existing units to be lost.
- 48 The bramble scrub is within a piece of land completely surrounded by other residential properties, and previous lack of management of the brambles caused complaints by the local residents. Maintaining bramble scrub within the development would cause longer term maintenance issues as well as being out of keeping with the landscape design of a residential site. Therefore the loss of this habitat is considered to be justified in this case.
- 49 Four trees have been felled within the bramble area. The loss of these trees is contrary to the biodiversity gain hierarchy which requires developers to consider how existing medium distinctiveness habitats can be retained. However, the trees were felled prior to submission of the application and prior to mandatory BNG and it is understood the applicant was not aware of the implications of felling the trees. The applicant has sought to address this by amending the scheme to provide four replacement trees within a small communal landscaped

area within the site. The communal landscaping would also include an area of modified grassland and some introduced shrubs.

- 50 The remainder of the site would comprise the proposed dwellings. The design was amended to retain an existing fruit tree within the garden of number 54 for retention in one of the new gardens. Another small tree within the garden would be removed due to its position being within a critical area for car parking and access.
- 51 The metric user guide advises that only vegetated garden habitat should be recorded in the metric when within the curtilage of a dwellinghouse due to it not being appropriate to secure other new habitats within private gardens for the statutory 30 year period.
- 52 For this reason there is limited opportunity to provide additional habitats onsite. It is considered that the applicant has demonstrated that they would provide a reasonable amount of onsite habitat given the nature of the development.
- 53 The remainder of the 10% net gain required will need to be achieved by way of purchasing offsite biodiversity units, or biodiversity credits.
- 54 The current layout has been proposed to ensure the buildings, car parking and access meets the needs of the new residents. The loss of habitats will be mitigated on site as far as possible with a redesign to allow more habitat creation, however the site landscaping design does not allow for a net gain on habitat units. Therefore, third party compensation will be used within the LPA or in the adjacent Dorset LPA where possible.

Ecology

- 51 The site has been undeveloped for many years and there were reports of Badgers. However, a badger report has been carried out and there is no evidence that there are any active setts on site. The applicant has submitted an ecological survey which acknowledges the current situation, and the Councils Ecologist is satisfied with the approach.

Heathland Mitigation:

- 52 The site is within 5km of a designated Dorset Heathlands SPA (Special Protection Area) and Ramsar Site, and part of the Dorset Heaths candidate SAC (Special Area of Conservation) which covers the whole of Bournemouth. As such, the determination of any application for an additional dwelling(s) resulting in increased population and domestic animals should be undertaken with regard to the requirements of the Habitat Regulations 1994. It is considered that an appropriate assessment could not clearly demonstrate that there would not be an adverse effect on the integrity of the sites, particularly its effect upon bird and reptile habitats within the SSSI.
- 53 Therefore, as of 17th January 2007 all applications received for additional residential accommodation within the borough is subject to a financial contribution towards mitigation measures towards the designated sites. A capital contribution is therefore required and in this instance 3 x £510 plus a £75 administration fee. The applicant has indicated willingness to enter into a 106

agreement however, the agreement is awaiting clarification on the New Forest mitigation so that the agreement can encompass both matters.

New Forest

- 54 Formal advice from Natural England (NE) has recently been given to the Council regarding the recreational pressures being placed on the New Forest's European designated sites (SAC, New Forest SPA and New Forest Ramsar site). In light of this, NE has advised that any additional residential development within 13.8km of the New Forest should not be permitted without first securing appropriate mitigation.
- 55 The New Forest Strategic Access Management and Monitoring Strategy 2023, prepared by Footprint Ecology, demonstrates that additional residential development within 13.8km of the New Forest Designated Sites, where in conjunction with advice from Natural England, it has been recognised that housing growth and increases in bedroom numbers have the potential to generate cumulative impacts upon the integrity of the New Forest. There is a reasonable likelihood that the occupants of the proposed development would visit the New Forest for recreation purposes.
- 56 Although the proposals contribution to this may be minimal by itself, it cannot be ruled out beyond all reasonable scientific doubt that the proposal would not have a likely significant effect on the sensitive interest features of the habitat sites, from human pressures, either alone or in combination with other proposals.
- 57 The draft New Forest Access Management & Monitoring (SAMM) Strategy (October 2024) sets out suitable mitigation can be implemented through the collection of SAMMs payments and sets a tariff per net dwelling of £300 for most of the BCP area. The site is within the 13.8 Km buffer zone and will be liable to make a financial mitigation contribution towards the New Forest. Currently the process for BCP sites to make the appropriate contribution is being developed. At this stage any recommendation for approval will be subject to a legal agreement to ensure that the appropriate mitigation is in place. Once signed the Council will be in a position to carry out an appropriate assessment to ensure that the development meets the Habitats Regulations.

Parking and transport issues

- 58 The Local Highway Authority acknowledges multiple public objections relating to increased traffic, parking pressures, and the intensification of the existing access. These concerns have been carefully considered in the LHA's assessment.

Parking Stress:

- 59 The proposed parking provision meets the standards set out in the Parking SPD and is not expected to displace vehicles onto the public highway. Therefore, existing parking stress is unlikely to be worsened.

Access and Driveway Design:

- 60 The shared access includes a widened section (5.5m) near the entrance to facilitate passing movements, reducing potential conflict. The 3.5m width along the remainder of the access is sufficient for emergency vehicles, with additional operating space available nearby. The low number of dwellings (three) means traffic generation is minimal, and the access design—with bends and no footways—is appropriate for such a scale, promoting low vehicle speeds.

Site Entrance and Visibility:

- 61 Improvements to pedestrian visibility and the straight alignment of Howeth Road ensure good sight lines for vehicles. On-street parking does not significantly affect visibility splays, and the access is considered safe under national highway design guidance.

Planning Balance / Conclusion

- 62 The proposal is for a backland development within an established residential area where infill development has taken place over the past 50+ years to develop the original long rear gardens and generous plots. As set out in the NPPF with the current housing shortfall the Council should look positively at proposals which can achieve additional housing. A tilted balance should be adopted which suggests that where proposals are finely balanced there should be a presumption to lean towards supporting the proposal. However, this should not override identified serious concerns and significant harm. In this case the following matters have been considered:

- The proposal is similar to neighbouring development and has an acceptable impact on the character and appearance of the area;
- The impact on neighbouring residential amenity is acceptable when assessing against the Councils Residential Design guide;
- The proposal is for family houses rather than flats.
- The level of car parking provision is acceptable;
- The proposal is compliant with BNG and can provide a net increase above 10%. In this respect the applicant has modified the proposal to include communal landscaped areas which can be better protected in the future rather than the space being in individual garden areas.
- The proposed drainage will incorporate SuDS to alleviate an increase in surface flooding and provide suitable drainage of the site;
- The impact on Heathlands and the New Forest will need to be suitably mitigated with a legal agreement to secure mitigation payments. The recommendation below is subject to an agreement being concluded.
- With regard to transport matters and having regard to paragraph 116 of the NPPF (2024), the proposal is not expected to result in a severe cumulative impact on the road network or compromise highway safety. Electric vehicle charging provision is now addressed through Building Regulations, so no planning condition is required.

- 63 While the proposal offers clear economic and social benefits — including the delivery of family housing in a sustainable location, compliance with biodiversity and drainage requirements, and alignment with national and local planning policy it is acknowledged

that there will be a change in the character of the immediate environment for neighbouring residents. The development will result in the loss of a currently quiet and green outlook, replacing it with built form and associated activity. Although the space is not publicly accessible, its presence contributes to a sense of openness and tranquillity for adjoining properties. These impacts have been carefully considered; however, they are not deemed to result in significant harm when weighed against the wider benefits of the scheme. On balance, the proposal is considered acceptable and capable of being supported, subject to appropriate mitigation and planning conditions.

Recommendation

To Grant Planning permission Subject to;

1) The satisfactory completion of a S106 agreement securing;

- 1. New Forest Mitigation (SAMM)**
- 2. Heathland SAMMs Mitigation: £1581 (3 X £527) plus administration costs.**
- 3. BNG Monitoring fees**

2) The following conditions;

Conditions

1. The development hereby permitted shall begin not later than the expiration of three years beginning with the date this permission is granted.

Reason: As required by Section 91 of the Town and Country Planning Act 1990 (as amended).

2. The development hereby permitted shall be carried out in accordance with the following approved plans: 2071P: 001, 101A, 102, 103, 104, 105, 106, 107, 108, 109, 110, Land P001 rev 2.

Reason: For the avoidance of doubt and in the interests of proper planning.

4. Any new or replacement hard surfaced area(s) shall either be made of porous materials, or provision shall be made to direct run-off water from the hard surface to a permeable or porous area or surface within the curtilage of the property.

Reason: To provide satisfactory drainage for the development in accordance with Policy CS4 of the Bournemouth Local Plan: Core Strategy (October 2012) and in order to achieve the objectives set out in the Local Planning Authority's Planning Guidance Note on Sustainable Urban Drainage Systems.

Note: Further guidance in this regard is contained in the Department for Communities and Local Government publication entitled "Guidance on the Permeable Surfacing of Front Gardens" (September 2008).

5. Details/samples of the bricks and tiles to be used on the external surfaces of the proposed development shall be submitted to and approved in writing by the Local

Planning Authority prior to the commencement of any superstructure works on site. Development shall be carried out in accordance with the approved details.

Reason: To ensure a satisfactory visual relationship between the existing and the new development in accordance with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

6. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development Order) 2015 (or any order revoking and re-enacting that Order with or without modification), no additional windows shall be installed or dormer windows shall be constructed in the new development or the existing dwelling without the grant of further specific planning permission from the Local Planning Authority.

Reason: To avoid loss of privacy for adjoining properties in accordance with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

7. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development Order) 2015 (or any order revoking and re-enacting that Order with or without modification), no enlargements of the dwelling(s) shall be constructed without the grant of further specific planning permission from the Local Planning Authority.

Reason: To enable the Local Planning Authority to retain control over the development of the site in accordance with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

8. The cycle parking stores shall be constructed and laid out in accordance with the approved details and completed prior to occupation of the development hereby approved and shall thereafter be retained, maintained, and kept available for the occupants of the development at all times.

Reason: To ensure the proper construction of the parking facilities and to encourage the use of sustainable transport modes.

9. The Electric Vehicle Charging Points and associated infrastructure details forming part of the planning application submission and indicated on the approved plans shall be implemented and brought into operation prior to the occupation of any residential unit hereby approved or any commercial use hereby approved commencing. Thereafter the Electric Vehicle Charging Points shall be permanently retained available for use at all times.

Reason: To ensure the proper construction of the parking facilities and to encourage the use of sustainable transport modes.

10. Within 3 months of the date of commencement of the development, unless otherwise agreed in writing by the Local Planning Authority, full details of soft landscape proposals to include tree planting in protected grids and hedging similarly protected shall be submitted to and approved in writing by the Local Planning Authority. The details should include where appropriate:

Planting plans; Schedule of plants; Implementation timetable. The approved soft landscape scheme shall be implemented in full prior to occupation or use of the development commencing and permanently retained unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that the proposed development includes a properly designed and suitably landscaped amenity area in the interests of visual amenity and to accord with Policy 4.25 of the Bournemouth District Wide Local Plan (February 2002) and Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

11. Prior to commencement of the development, unless otherwise agreed in writing by the Local Planning Authority, details of boundary treatment and/or subdivision shall be submitted to and approved in writing by the Local Planning Authority. Details shall include a plan showing: the positions, height, design, and materials and shall incorporate the retention of the existing boundary walls and parts of the existing building to be retained as a future boundary wall where feasible. Notwithstanding the details shown the height of the walls shall be agreed with the Council. The approved boundary treatment scheme shall be implemented in full prior to occupation or use of the development commencing and permanently retained and maintained unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of amenity and privacy and in accordance with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

12. No part of the development hereby permitted shall be carried out other than in accordance with the details and timetable contained in the approved Arboricultural Impact and Method Statement and tree protection plan from Wadey Trees Ltd, dated 10th July 2025, Ref: WT 058-25.

Reason: To ensure that trees and their rooting environments are afforded adequate physical protection during construction.

13. The bin storage areas hereby approved shall be constructed in accordance with the approved details prior to the occupation of the proposed development and shall be retained and maintained for that use thereafter.

Reason: To preserve the visual amenities of the locality in accordance with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

14. Before the development is occupied or utilised the access, turning and parking areas must have been arranged and constructed in accordance with the hereby approved plans. Thereafter, these areas must be permanently maintained, kept free from obstruction and available for the purposes specified.

Reason: To ensure the proper and appropriate development of the site and to ensure that highway safety is not adversely impacted upon.

15. Vegetation clearance on this site should be carried out in September and October, so outside the bird breeding season of 1st March to 31st August inclusive and when

have least potential for impact on reptiles. Unless it can be sufficiently checked by an ecologist to show that nesting birds are not present.

Reason: prevention of disturbance to birds' nests as protected under Wildlife and Countryside Act 1981(as amended); protection of common species of reptile as protected under Wildlife and Countryside Act 1981(as amended).

INFORMATIVES

15. INFORMATIVE NOTE: The applicant is advised that there should be no storage of any equipment, machinery or materials on the footway/highway this includes verges and/or shrub borders or beneath the crown spread of Council owned trees.
16. INFORMATIVE NOTE: The applicant is advised that in order to avoid contravention of highways legislation, provision shall be made in the design of the access/drive to ensure that no surface water or loose material drains/spills directly from the site onto the highway.
17. INFORMATIVE NOTE: This permission is subject to the Community Infrastructure Levy (CIL) introduced by the Town and Country Planning Act 2008. A CIL Liability Notice has been issued with this planning permission that requires a financial payment on commencement of development. Full details are explained in the notice.
18. In accordance with paragraph 38 of the revised NPPF the Council, as Local Planning Authority, takes a positive and proactive approach to development proposals focused on solutions. The Council works with applicants/agents in a positive and proactive manner by offering a pre-application advice service, and as appropriate updating applicants/agents of any issues that may arise in the processing of their application and where possible suggesting solutions.

In this instance: The applicant/agent was updated of any issues after the initial site visit,

The applicant was provided with the opportunity to address issues identified by the case officer, submitted revised plans and permission was granted.

Background Documents:

P-29232-270125

Documents uploaded to that part of the Council's website that is publicly accessible and specifically relates to the application the subject of this report including all related consultation responses, representations and documents submitted by the applicant in respect of the application.

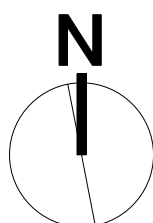
Notes.

This excludes all documents which are considered to contain exempt information for the purposes of Schedule 12A Local Government Act 1972.

Reference to published works is not included.

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THIS LANDSCAPE PLAN IS FOR SUBMISSION
TO THE LOCAL PLANNING AUTHORITY,
SUITABLE TO SATISFY PLANNING
CONDITIONS ONLY.
THIS DRAWING MUST NOT BE USED FOR
TENDERING OR CONSTRUCTION PURPOSES



No.56

No.54
'Howeth Rd'

No.21
Copper Beech
Gardens

Portion of existing boundary wall to be
demolished and dropped kerb
extended (min 2m Visibility Splay to
be maintained where indicated)

Area of hardstanding
allocated for refuse collection

Planting Bed A-5.2 sq m
Acer campestre (whip)-5
Corylus avellana (whip)-5
Fagus sylvatica (whip)-5
Ligustrum vulgare (whip)-5
Prunus spinosa (whip)-5

Removed by home owner

Plot 3

Secure bicycle storage shed
Planting Bed E-12.4 sq m
Acer campestre (whip)-12
Corylus avellana (whip)-12
Fagus sylvatica (whip)-12
Ligustrum vulgare (whip)-12
Prunus spinosa (whip)-12

Planting Bed F-1.4 sq m
Acer campestre (whip)-1
Corylus avellana (whip)-1
Fagus sylvatica (whip)-1
Ligustrum vulgare (whip)-1
Prunus spinosa (whip)-1

Electric vehicle charging point

Planting Bed G-24.4 sq m
Acer campestre (whip)-24
Corylus avellana (whip)-24
Fagus sylvatica (whip)-24
Ligustrum vulgare (whip)-24
Prunus spinosa (whip)-24

No.19

No.17

No.15

Planting Bed H-1.7 sq m
Hebe albanica-1
Choisya ternata 'Aztec Pearl'-1
Sarcococca hookeriana var. digyna-1
Skimmia japonica 'Rubella'-1
Bergenia 'Bressingham White'-8

Plot 2 refuse and recycling

New 1.8m high closeboard fence

Secure bicycle storage shed

Planting Bed B-7.5 sq m
Acer campestre (whip)-8
Corylus avellana (whip)-8
Fagus sylvatica (whip)-8
Ligustrum vulgare (whip)-8
Prunus spinosa (whip)-8

Plot 1 and 3 refuse and recycling

Planting Bed C-12.6 sq m
Acer campestre (whip)-13
Corylus avellana (whip)-13
Fagus sylvatica (whip)-13
Ligustrum vulgare (whip)-13
Prunus spinosa (whip)-13

Planting Bed D-9.3 sq m
Hebe albanica-6
Choisya ternata-6
Euonymus fortunei 'Emerald Gaiety'-6
Nandina domestica-6
Phormium 'Yellow Wave'-6

New 1.8m high closeboard fence

Secure bicycle storage shed

PLANTING SPECIFICATION

- GENERAL** All planting and landscape operations to comply with Recommendations for General Landscape Operations BS 4428 (1989) and all plant material is to comply with the National Plant Specification. Locally produced peat-free topsoil, compost, turf, plants and mulch to be used wherever possible.
- PREPARATION WITHIN THE CROWN SPREAD OF EXISTING TREES** Remove weeds and existing vegetation by hand digging. Retain existing topsoil and cultivate by hand with no greater change of level than 100mm. Proposed new plants to be spaced to avoid damage to tree roots. Planting pits to be backfilled with fresh topsoil and compost mixed 50/50.
- PREPARATION** Break out any existing hard surface to full depth of construction and excavate to allow full depth of topsoil and compost indicated below. Remove any stones greater than 50mm in any dimension. Remove existing unwanted plants including their roots. Finished levels of topsoil with mulch dressing to be 50mm above adjacent pavings.
- TOPSOIL** Imported topsoil to BS 3882. Premium quality. Spread in layers no deeper than 150mm. Topsoil depths:
Grass areas – 150mm
Shrub beds – 450mm
Locally produced Eco Supersoil is recommended as it contains 30% compost.
- FERTILISER** All shrub beds to have incorporated bonemeal at the rate of 70g/m² into the topsoil. After planting all beds to be top dressed with a slow release fertiliser such as Vitagrow Tree and Shrub Fertiliser or similar to manufacturer's recommendations.
- COMPOST** Shrub beds to have 100mm depth of good quality organic manure, spent mushroom compost or peat-free compost, incorporated into the soil prior to planting. Locally produced and peat-free, Eco Mix or Eco Tree & Shrub Compost is recommended.
- PLANT HANDLING, DELIVERY AND STORAGE** To be as recommended in the National Plant Specification. Phase the delivery of plants so that there is only sufficient for planting within 48hrs of delivery or, if necessary, ensure suitable temporary storage before final planting by heeling in or lining out.
- PREPARATION OF PLANTS** Remove inorganic containers. Check for damage, disease or pest infestation. Reject seriously damaged plants. Carefully prune any minor root damage.
- PLANTING**
 - In position shown on the drawings
 - At the rate specified, avoiding regimented rows
 - In holes large enough to allow adequate root spread and tease out congested root balls of container grown plants
 - Excavate holes at least 75mm below the root system and a minimum 400mm for climbers
 - Set plants so that their original soil level matches the new surrounding ground and with their best side displayed
- PLANTING HEDGES** Excavate trench 300x300mm with suitable topsoil and 100mm depth of compost cultivated in. Plant spacings to be appropriate to genus selected.
- PLANTING SHRUBS** Shrub pits to be 150mm wider than the container size or large enough to allow the full spread of bare root plants. Backfill with a mix of topsoil and compost.
- PLANTING TREES** Excavate pit 150mm deeper and 500mm wider than the rootball. Break up base of pit. Backfill with mix of topsoil and compost. Dress with slow release fertiliser to manufacturer's recommendations. Tree stakes to be minimum 75mm diameter, free of bark with one end pointed. Drive stake upright 450mm into bottom of excavated planting pit close to the tree stem on the windward side. Cut off at one-third the height of the tree and secure tree with approved ties and spacers at the top of the stake.
- BACKFILLING** to be selected existing topsoil. Add 600g/m³ of bonemeal to stimulate root growth. Any additional imported organic matter should be well mixed with at least an equal quantity of existing soil. The backfill is to be evenly worked round the roots and well heeled in.
- IMMEDIATELY AFTER PLANTING** Lightly prune back any damaged or malformed growth. Rake soil to an even, fine tilth to the required levels.
- WATERING** Saturate the root ball of container grown plants before planting. Immediately after planting, water all trees and shrubs thoroughly and again before mulching.
- PLANTING SEASON** Plant out non-container grown plants only between October and March inclusive unless otherwise agreed. Container grown or containerized plants may be planted out at any time of year except when the temperature is below 4°C or on a falling thermometer, in frozen or waterlogged ground or in drought conditions.
- MULCH** Spread 75mm of good quality bark chippings 50-75mm in any direction. Mulch to be free from sticks, leaves and rubbish and have been rested for at least 90 days.
- TURF**
 - To BS 3969 with weedkiller applied 1 to 3 months before lifting;
 - 900 x 300 minimum size x 25mm minimum even thickness
- DELIVERY** to be phased to ensure laying within 48hrs of lifting. Stacks not to exceed 1.4m high.
- PREPARATION FOR TURFING**
 - Remove all weeds, rubbish and stones over 30mm in any dimension.
 - Cultivate topsoil to a minimum depth of 100mm.
 - Reduce top 30mm to a fine tilth.
- FERTILISER FOR TURFING**
Dress areas to be turfed with Growmore N7:P7:K7 fertiliser at a rate of 50g/m². Work into the top 30mm of tilth 7 days before turfing and water in well.
- LAYING TURF**
 - Transport turf over close-butted timber planks.
 - Lay turf in consecutive rows.
 - Lay turf from timber planks protecting previously laid turf.
 - Lay turf close butted breaking the joint in alternate rows.
 - Use only whole turves at margins.
 - Consolidate lightly with wooden beaters.
 - Brush in finely sieved topsoil to fill all joints.
 - Ensure final surface is 20mm above any adjacent hard surface.
- TURFING ADJACENT TO OBSTRUCTIONS**
 - Leave a neat 300mm radius of soil round all newly planted trees.
 - Unless otherwise shown on the drawing, turf right up to existing established trees, walls, fences and similar obstructions, leaving no soil uncovered.
- TREE QUALITY** to the National Plant Specification with size as noted on drawing or schedule.
- TREE STAKES** 75mm minimum diameter, free of bark, with one end pointed.
- STAKING FOR TREES UP TO 'STANDARD' SIZE**
Drive stake upright 450mm into bottom of excavated planting pit close to the tree stem on the windward side. Cut off at one-third the height of the tree and secure tree with approved ties and spacers at the top of the stake.
- PLANT TREES**
 - Upright and in exact positions shown on the drawings
 - In holes large enough to allow adequate root spread
 - So that their original soil level matches the new surrounding ground
 - So that the original orientation is maintained
 - Excavate holes at least 75mm below the root system and loosen soil in base of holes
 - For root-balled or bare-root stock, cut back any damaged roots to sound growth
 - Bio-degradable corrugated plastic tree guards are to be fitted to all trees to protect from damage.
- WATERING AND AERATION PIPES** Provide perforated plastic watering pipes in a circle round the base of tree pits at the level of the bottom of the root ball.
- BACK-FILLING** to be selected existing topsoil where available. Any imported soil/organic matter should be well mixed with at least equal quantities of existing soil. The back-fill is to be worked round the roots and well heeled in leaving the top slightly proud of the existing level to allow for settlement.
- PRUNING** Immediately after planting carry out light formative pruning according to species. Remove damaged or weak growth.
- WATERING AND PROTECTION** Water thoroughly immediately after planting and at intervals as necessary until Practical Completion. After the first watering, mulch with 75mm of composted coarse bark chippings over the excavated area.
- MAINTENANCE AND REPLACEMENT** Replace any trees that are dead or dying within three years of planting. In the following year in March or April apply N7:P7:K7 fertiliser round all trees and keep the ground weed free for 1 metre diameter round each tree.

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BOUNDARY TREATMENT KEY

- A - B** Hardstanding for refuse collection
B - C Site entrance
C - D Existing wall with low trellis above
D - E Existing treatment to remain
E - F Existing building
F - A New 1.8m high timber closeboard fence

TREE RPA

Root Protection Area
The RPA shown is for illustrative purposes only and should be checked against that as provided by a qualified arboriculturalist

TREE SYMBOL KEY

- Existing Tree (ET)
New Tree (NT)
Remove Tree (RT)

TREE SCHEDULE

ID	Botanical Name	Specification / Notes
ET01	Prunus spp	To be retained
ET02	Laurus nobilis	Removed by home owner
NT01	Prunus subhirtella 'Autumnalis'	Heavy Standard
NT02	Liquidambar 'Slender Silhouette'	Heavy Standard
NT03	Malus domestica	Heavy Standard
NT04	Prunus avium	Heavy Standard
NT05	Malus domestica	Heavy Standard

PLANT SCHEDULE

Category	Latin Name	Size	Quantity
Native Hedging	Acer campestre (whip)	60-80cm	63
Native Hedging	Corylus avellana (whip)	60-80cm	63
Native Hedging	Fagus sylvatica (whip)	60-80cm	63
Native Hedging	Ligustrum vulgare (whip)	60-80cm	63
Native Hedging	Prunus spinosa (whip)	60-80cm	63
Perennials	Bergenia 'Bressingham White'	2-3L	8
Shrubs	Choisya ternata	10-12L	6
Shrubs	Choisya ternata 'Aztec Pearl'	10-12L	1
Shrubs	Euonymus fortunei 'Emerald Gaiety'	10-12L	6
Shrubs	Hebe albanica	10-12L	7
Shrubs	Nandina domestica	10-12L	6
Shrubs	Phormium 'Yellow Wave'	10-12L	6
Shrubs	Sarcococca hookeriana var. digyna	10-12L	1
Shrubs	Skimmia japonica 'Rubella'	10-12L	1

HATCH KEY

- Permeable Block Pavers (Brindle)
Permeable Block Pavers (Black)
Paving
Gravel
Lawn
Planting
Native Hedging

PROTECTION OF TREES

- The responsibility for the safety of trees always rests with the site owner or the person who has control of tree management. Where sites contain trees this JPS design does not include liaison with the appropriate local planning authority or any application for consent for works to protected trees or hedges. Consent for works to protected trees and hedges must be obtained from the local planning authority prior to any works being carried out on them.
- The trees and landscape features within or adjacent to the site may be protected by tree preservation orders, be within a conservation area, constitute an important hedgerow or be subject to planning conditions. The local planning authority must be consulted for details of any such planning restrictions and their advice followed before work is planned or carried out to trees.
- The legal Duty of Care requires that all works to trees should be carried out by qualified, arboricultural contractors working according to Health & Safety Executive guidelines. All tree works should be carried out to arboricultural industry best practice and comply with BS 3998:2010 'Tree work - Recommendations'. All tree management work must take account of the Wildlife and Countryside Act, 1981, as amended by the Countryside and Rights of Way Act, 2000, which makes it a criminal offence to disturb, injure or kill bats or nesting birds and other protected animals.
- Important hedgerows may be protected if they are in the countryside, are over 20m long and over 30 years old, provide habitats for protected species or have been designated as such by a local planning authority.
- Tree health and condition can change over time and be affected by the environment, therefore, regular periodic inspections are recommended and a qualified arboriculturalist consulted if any concerns are identified.

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HEDGEHOG ACCESS

All existing and proposed fencing to have hedgehog gaps installed at the base. Gaps to be 13cm x 13cm.

PLANT PROVENANCE

All planting to be sourced from UK native provenance (preferably grown in British nurseries) to remove the risks of importing diseases that our plants have no resistance to and pests that have no natural predators in the UK. British grown plants are far more likely to do well in our conditions than those that have been imported. British species of native plants are unique to these islands and have adapted to our climate and conditions.

BIODIVERSITY NET GAIN

In order to achieve biodiversity net gain on the site, all planting complies with BS42020: 2013.

Specified plants are selected from the *RHS Plants For Pollinators* recommended list.

Additionally, 63.6 sqm of native hedging has been added.

0 5 10 m

SCALE BAR

It is the contractor's responsibility to check and confirm all measurements on site. JPS Landscape Design accept no liability for any discrepancies between this drawing and actual site measurements.

JPS
LANDSCAPE DESIGN

BOURNEMOUTH OFFICE:
Wilson House, 2 Lorne Park Road, Bournemouth BH1 1JN TEL: 01202 426143

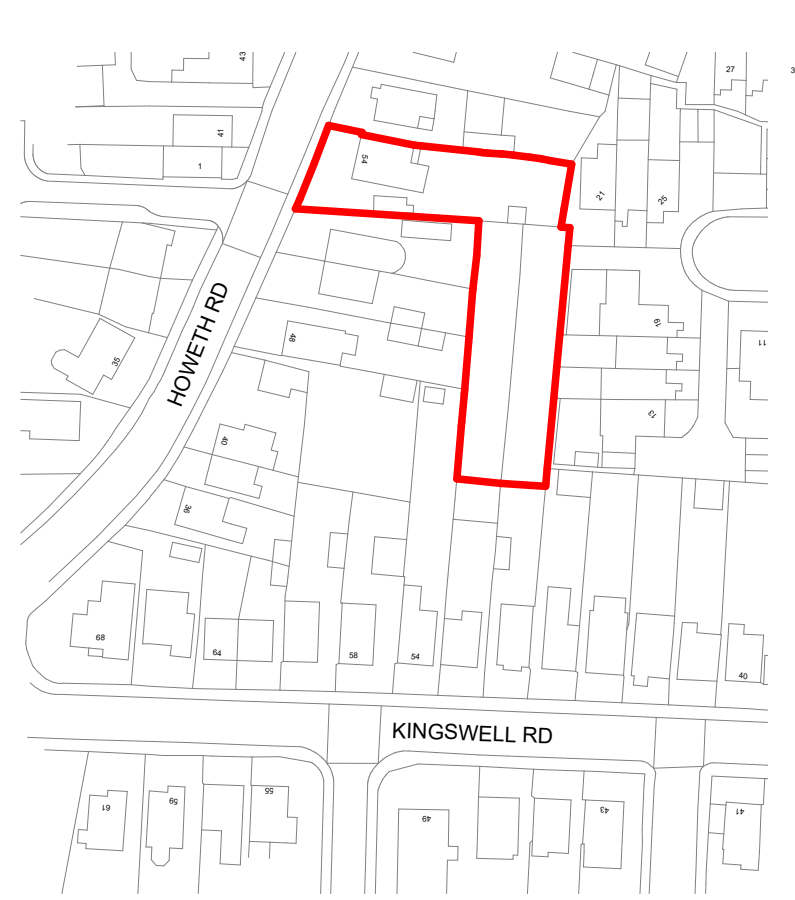
EMAIL: info@jpslandscapedesign.co.uk
WEBSITE: www.jpslandscapedesign.co.uk

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Designer	DW	Drawing No.
Design Date	04.07.25	LANDP001
Revised by	DW	
Revision Date	08.07.25	Revision No.
		002

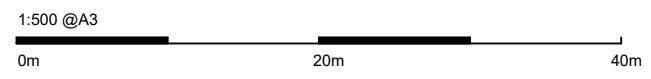
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Block Plan
Scale: 1 : 500@A3



Site Location Plan
Scale: 1 : 1250@A3
Ordnance Survey (c) Crown Copyright 2025.
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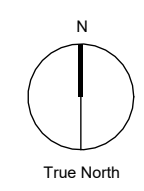


54 Howeth Rd, Bournemouth BH10 5EB

Drawn by HB
Checked by DH
Scale @ A3 As indicated

All dimensions to be checked on site prior to commencement of work. Do not scale from drawing.

Revision	Description	Date
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Drawing Status Key:

SK	- Sketch	P	- Preliminary
D	- Draft	S	- Submitted
A	- Approved	T	- Tender
C	- Construction	IN	- Information

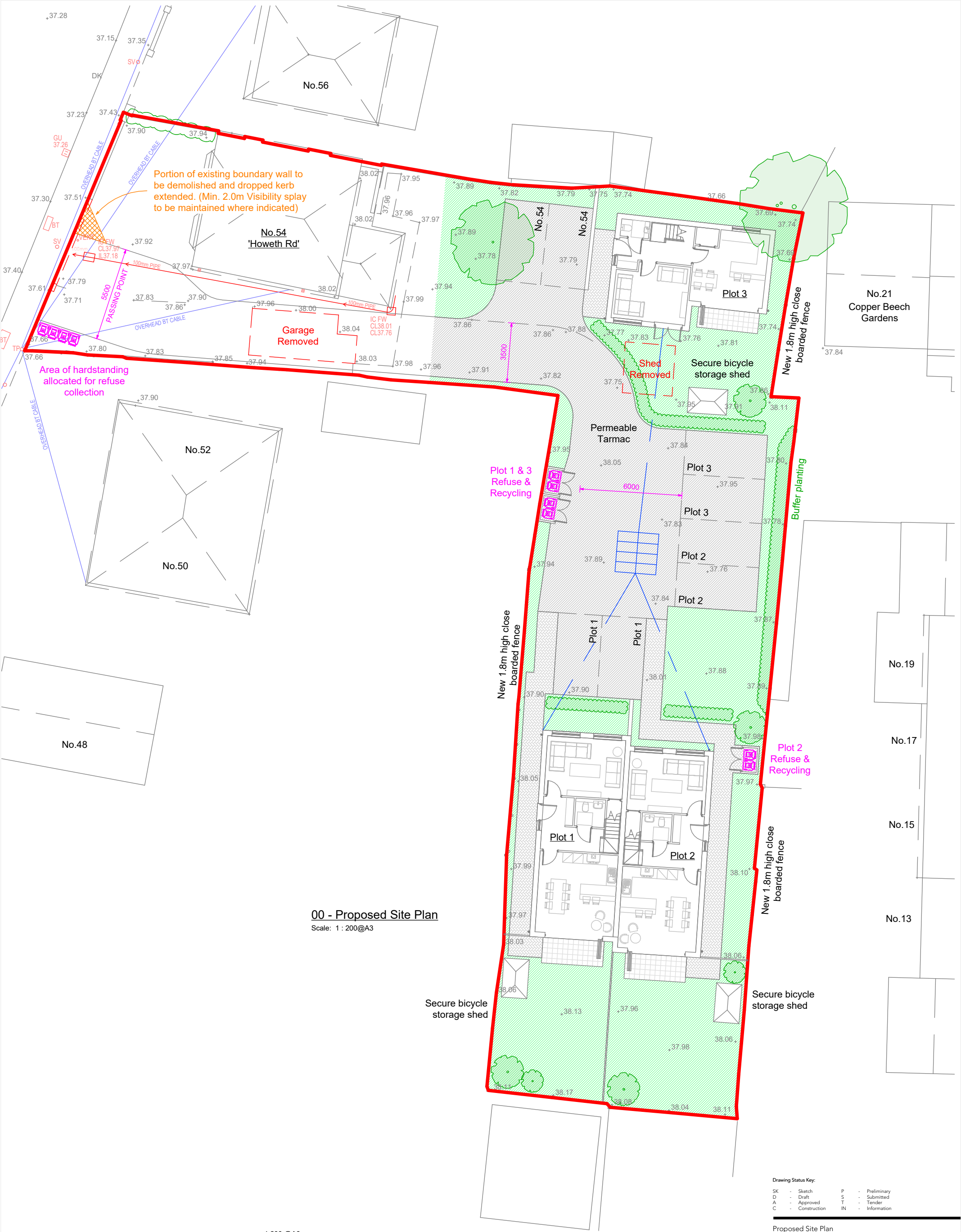
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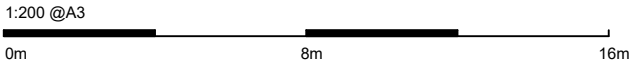
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00 - Proposed Site Plan
Scale: 1 : 200@A3



54 Howeth Rd, Bournemouth BH10 5EB

Revision a Description Plan Amended

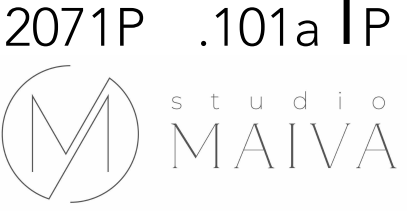
Date 05.12.24

Drawn by HB
Checked by DH
Scale @ A3
As indicated

Drawing Status Key:
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C - Construction IN - Information

Proposed Site Plan

Drawing Ref: 2071P .101a IP Status:



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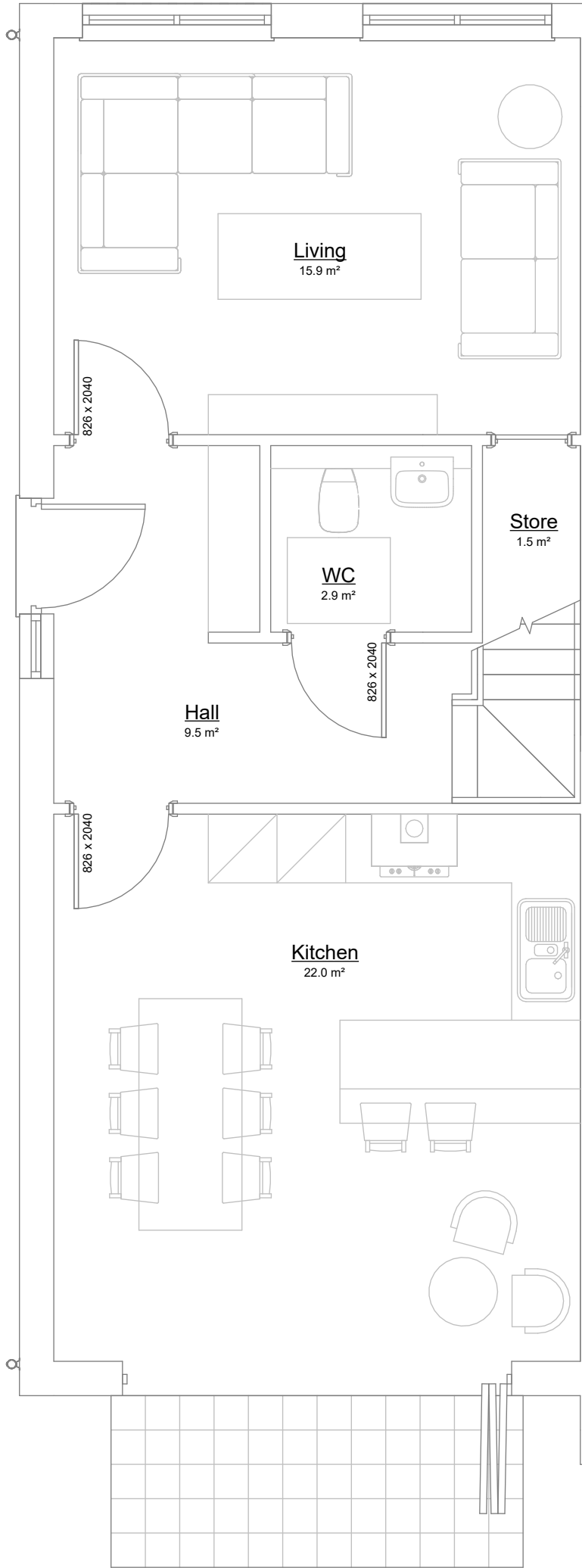
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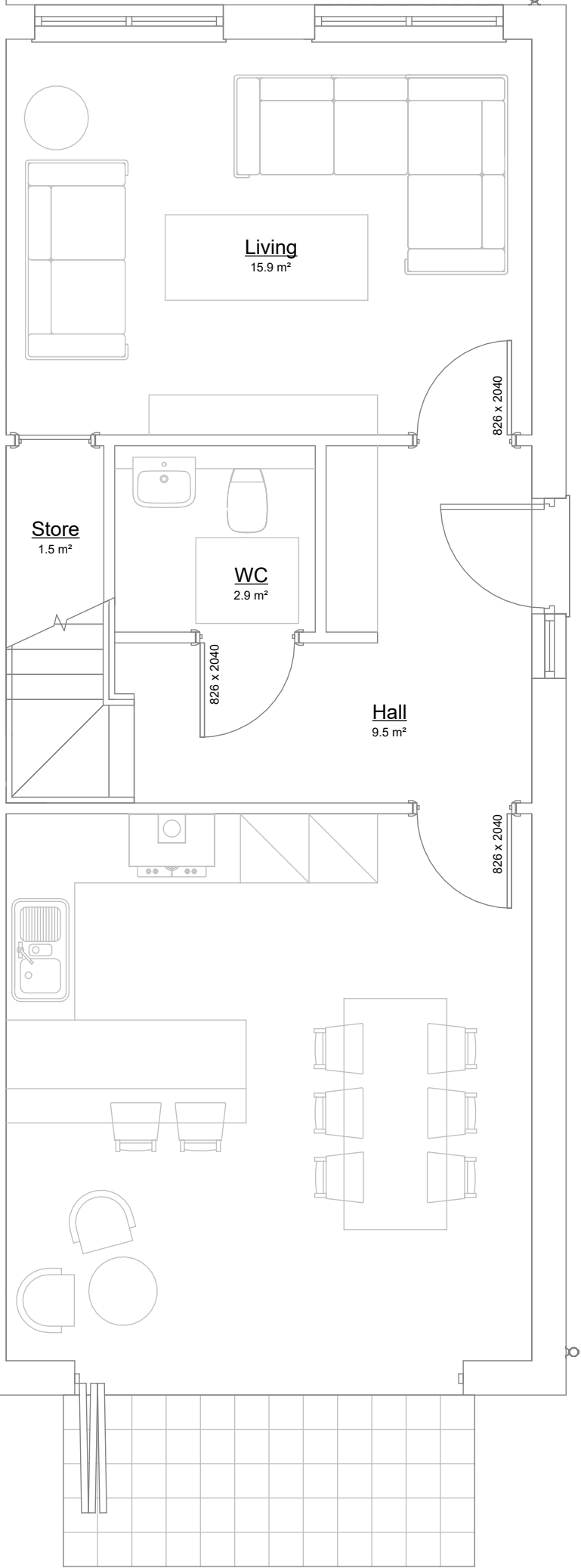
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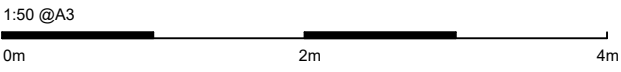
Gross Internal Area
Plot 1 = 106.4m²



Gross Internal Area
Plot 2 = 106.4m²



00 - Proposed Ground Floor
Scale: 1 : 50@A3



54 Howeth Rd, Bournemouth BH10 5EB

Revision Description

Date

Drawn by
Checked by
Scale @ A3

HB
DH

43 50

All dimensions to be checked on site prior to commencement of work. Do not scale from drawing.

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Drawing Status Key:
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C - Construction IN - Information

Plot 1 & 2 - Ground Floor as Proposed

Drawing Ref: Status:

2071P .102 IP

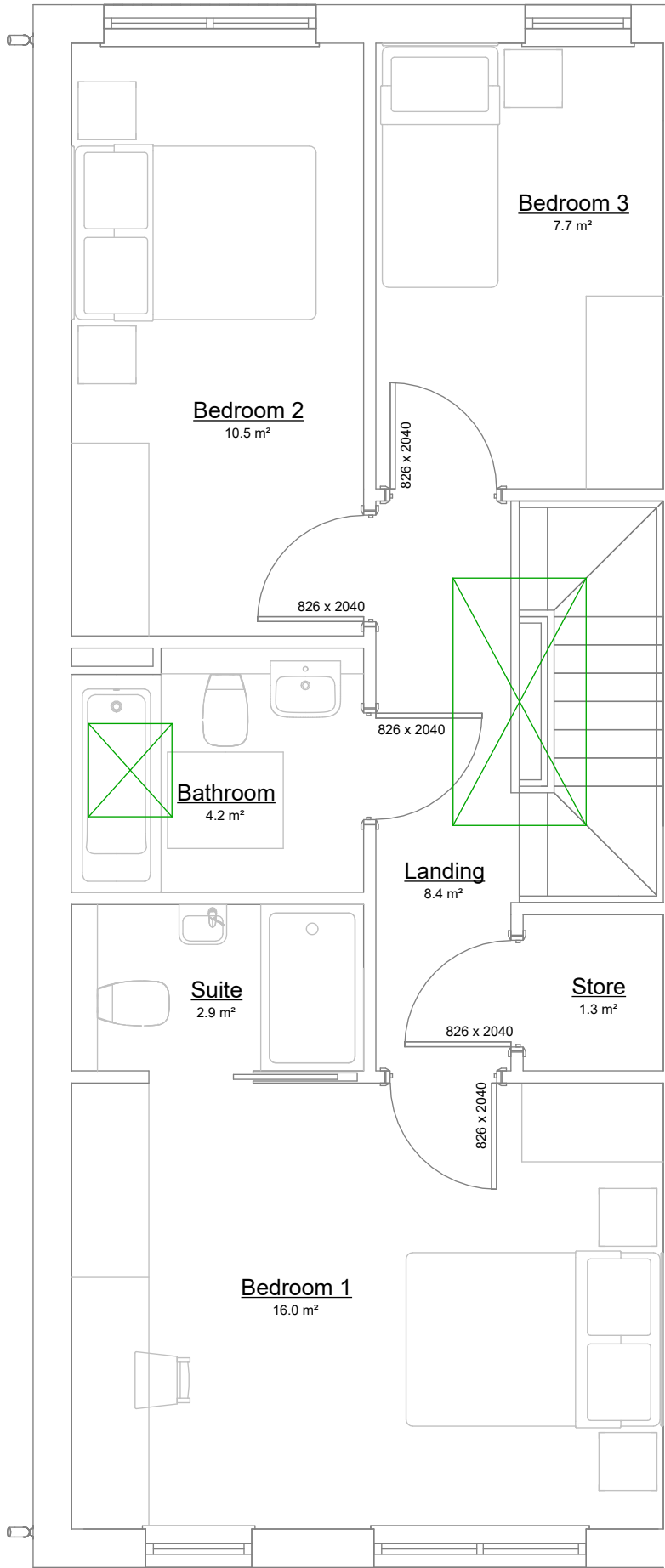


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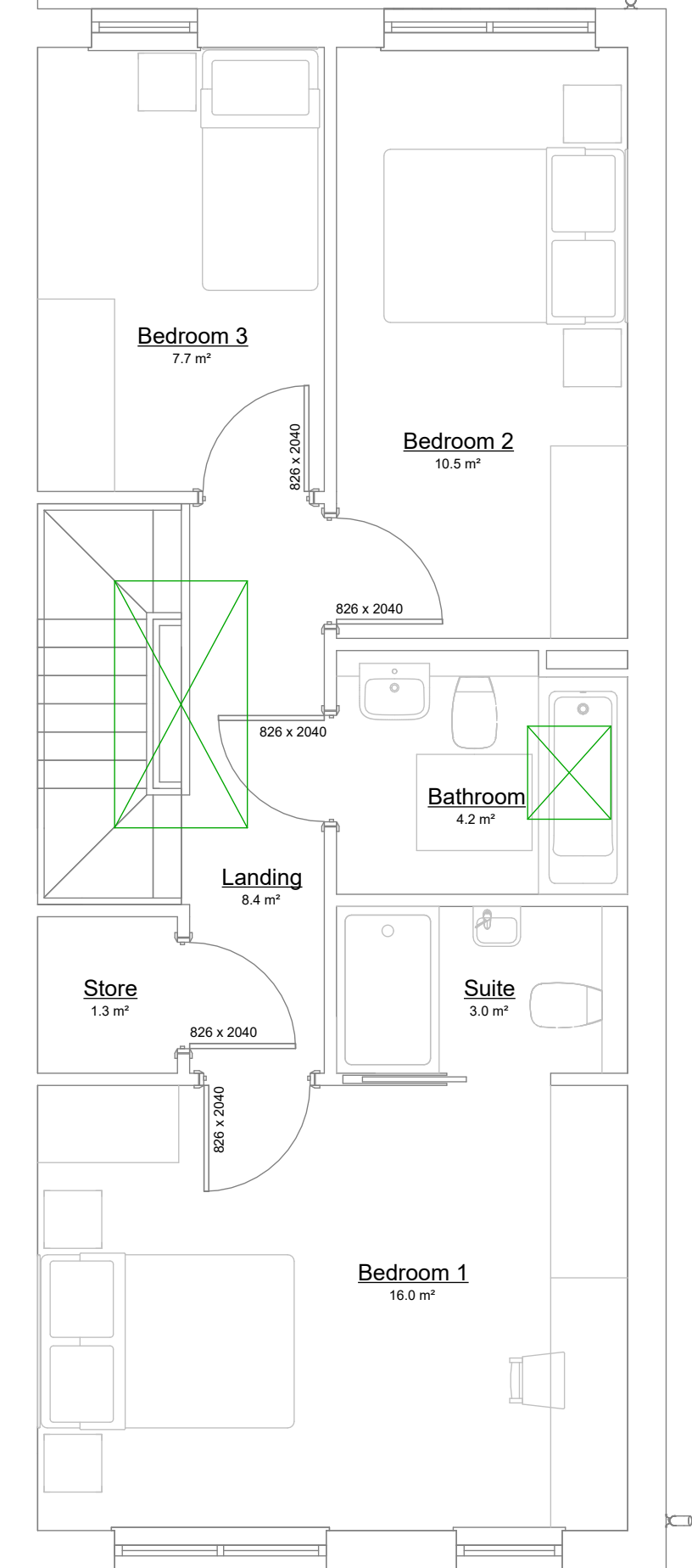
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Gross Internal Area
Plot 1 = 106.4m²



Gross Internal Area
Plot 2 = 106.4m²



01 - Proposed First Floor

Scale: 1 : 50@A3

1:50 @A3

0m 2m 4m

54 Howeth Rd, Bournemouth BH10 5EB

Revision Description

Date

Drawn by
Checked by
Scale @ A3

HB
DH

45⁵⁰

All dimensions to be checked on site prior to commencement of work. Do not scale from drawing.

54 The Grove, Christchurch, BH23 2HB

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Drawing Status Key:
SK - Sketch P - Preliminary
D - Draft S - Submitted
A - Approved T - Tender
C - Construction IN - Information

Plot 1 & 2 - First Floor as Proposed

Drawing Ref: Status:

2071P .103 IP



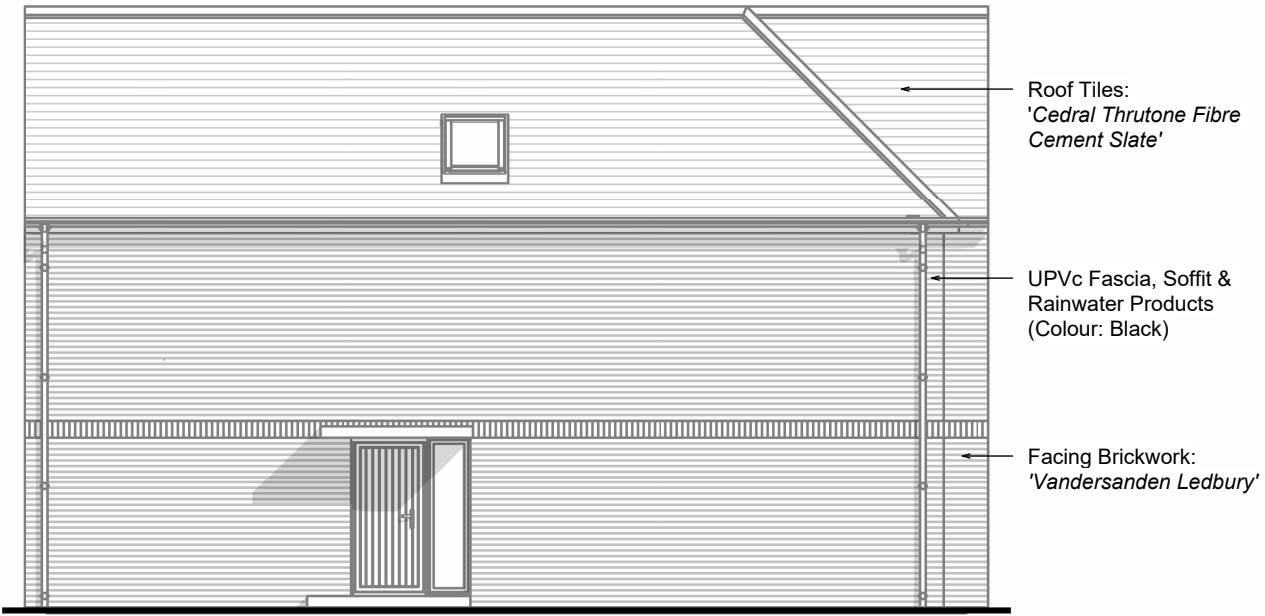
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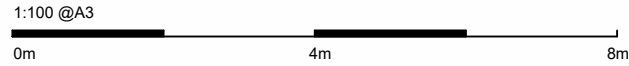
Proposed North Elevation
Scale: 1 : 100@A3



Proposed West Elevation
Scale: 1 : 100@A3



Front Elevation
Contextual 3D View



54 Howeth Rd, Bournemouth BH10 5EB

Revision Description

Date

Drawn by HB
Checked by DH
Scale @ A3 As indicated

All dimensions to be checked on site prior to commencement of work. Do not scale from drawing.

54 The Grove, Christchurch, BH23 2HB

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Drawing Status Key:
SK - Sketch P - Preliminary
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A - Approved T - Tender
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Plot 1 & 2 - Proposed Elevations

Drawing Ref: Status:

2071P .104 IP



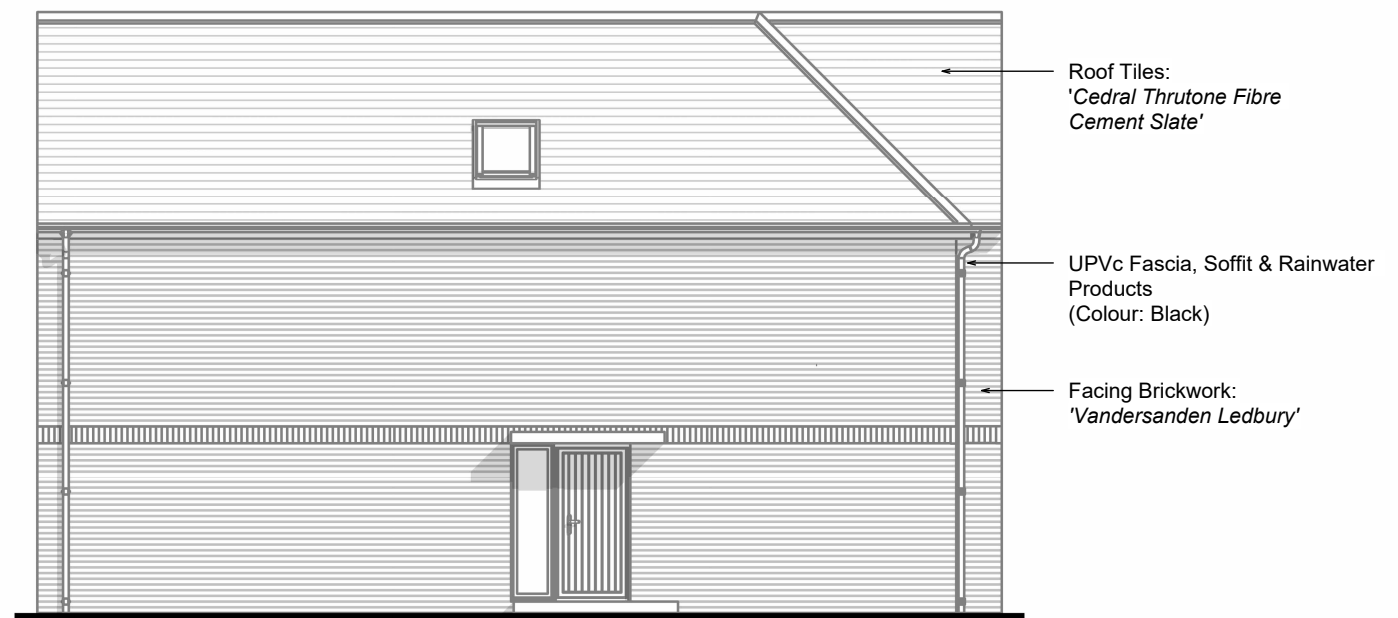
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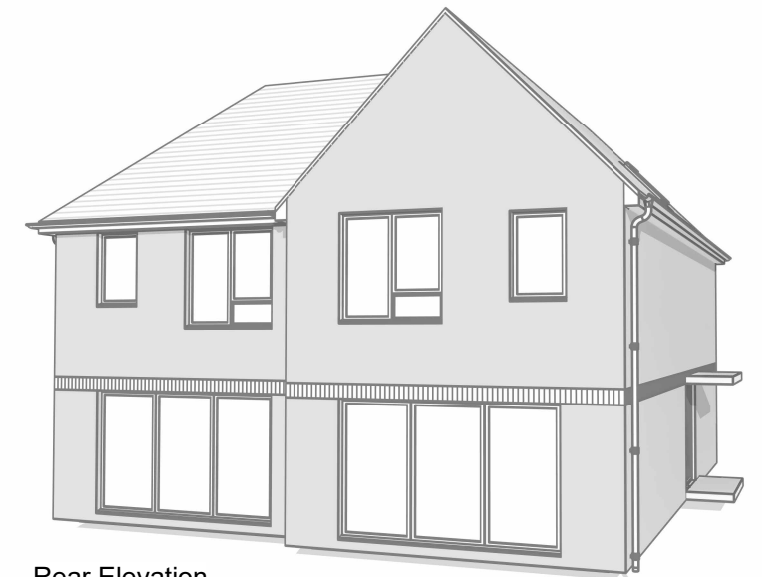


Proposed South Elevation
Scale: 1 : 100@A3



Proposed East Elevation
Scale: 1 : 100@A3

Composite Door:
'Vertical Timber Cladd'



Rear Elevation
Contextual 3D View

1:100 @A3

0m 4m 8m

54 Howeth Rd, Bournemouth BH10 5EB

Revision Description

Date

Drawn by HB
Checked by DH
Scale @ A3 As indicated

All dimensions to be checked on site prior to commencement of work. Do not scale from drawing.

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Drawing Status Key:
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D - Draft S - Submitted
A - Approved T - Tender
C - Construction IN - Information

Plot 1 & 2 - Elevations Continued

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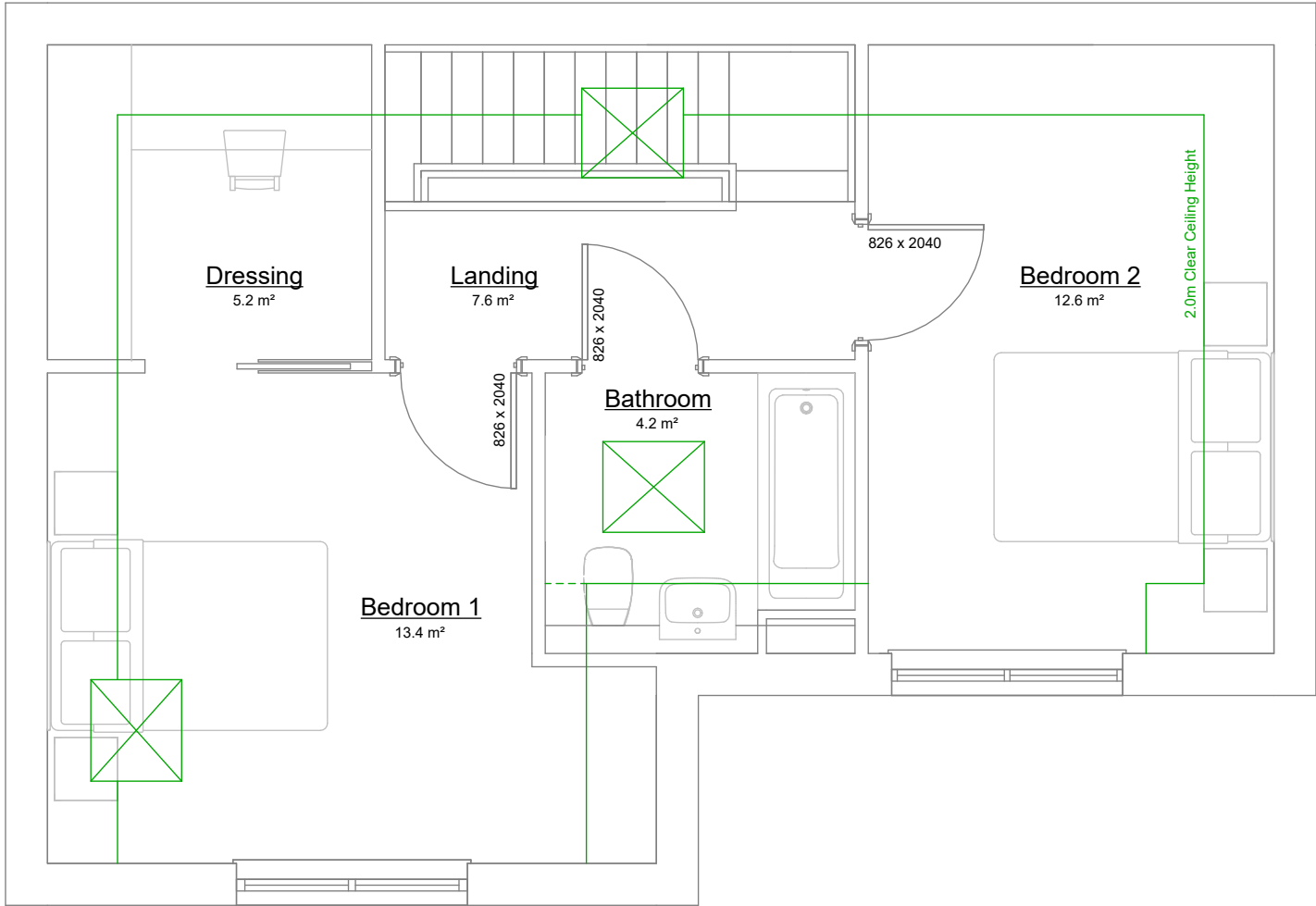
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01 - P3 First Floor
Scale: 1 : 50@A3

Gross Internal Area
Plot 3 = 89.2m²



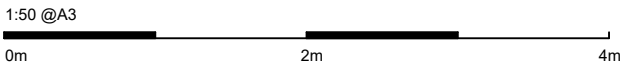
00 - P3 Ground Floor
Scale: 1 : 50@A3

Drawing Status Key:
SK - Sketch P - Preliminary
D - Draft S - Submitted
A - Approved T - Tender
C - Construction IN - Information

Plot 3 - Proposed Floor Plans

Drawing Ref: Status:

2071P .106 IP



54 Howeth Rd, Bournemouth BH10 5EB

Revision Description

Date

Drawn by HB
Checked by DH
Scale @ A3 51 50

All dimensions to be checked on site prior to commencement of work. Do not scale from drawing.

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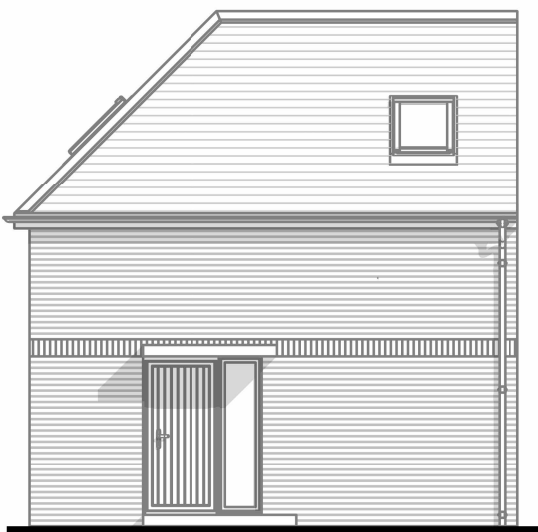


Roof Tiles:
'Cedral Thrutone Fibre
Cement Slate'

Vertical Brickwork:
'Vandersanden Ledbury'

Powder Coated
Aluminium Window Frames
(Colour: Black)

Proposed South Elevation
Scale: 1 : 100@A3

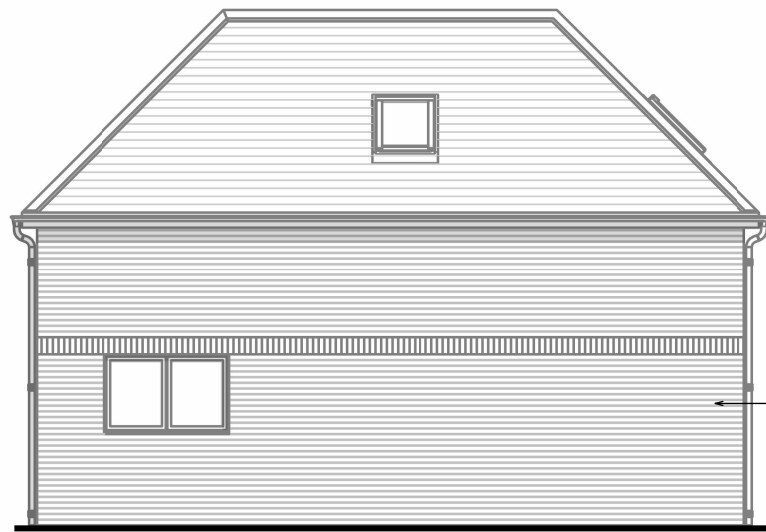


Proposed West Elevation
Scale: 1 : 100@A3

Composite Door:
'Vertical Timber Cladd'



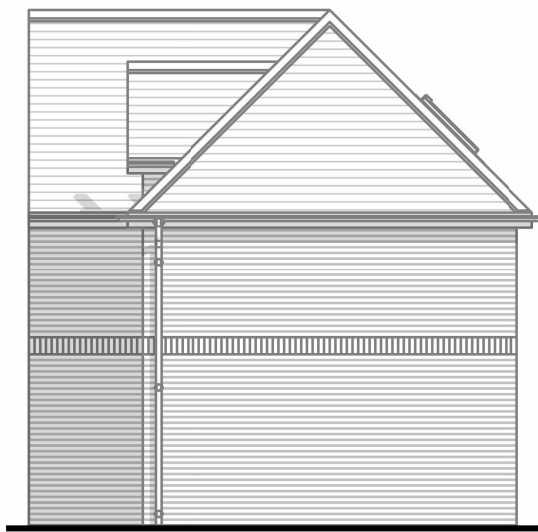
Proposed Front Elevation
Contextual 3D View



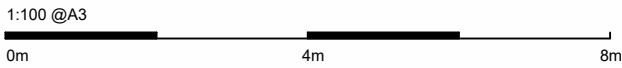
UPVc Fascia, Soffit &
Rainwater Products
(Colour: Black)

Facing Brickwork:
'Vandersanden Ledbury'

Proposed North Elevation
Scale: 1 : 100@A3



Proposed East Elevation
Scale: 1 : 100@A3



54 Howeth Rd, Bournemouth BH10 5EB

Revision Description

Date

Drawn by HB
Checked by DH
Scale @ A3 As indicated

All dimensions to be checked on site prior to commencement of work. Do not scale from drawing.

54 The Grove, Christchurch, BH23 2HB

01202 280 638

Drawing Status Key:
SK - Sketch P - Preliminary
D - Draft S - Submitted
A - Approved T - Tender
C - Construction IN - Information

Plot 3 - Proposed Elevations

Drawing Ref: Status:

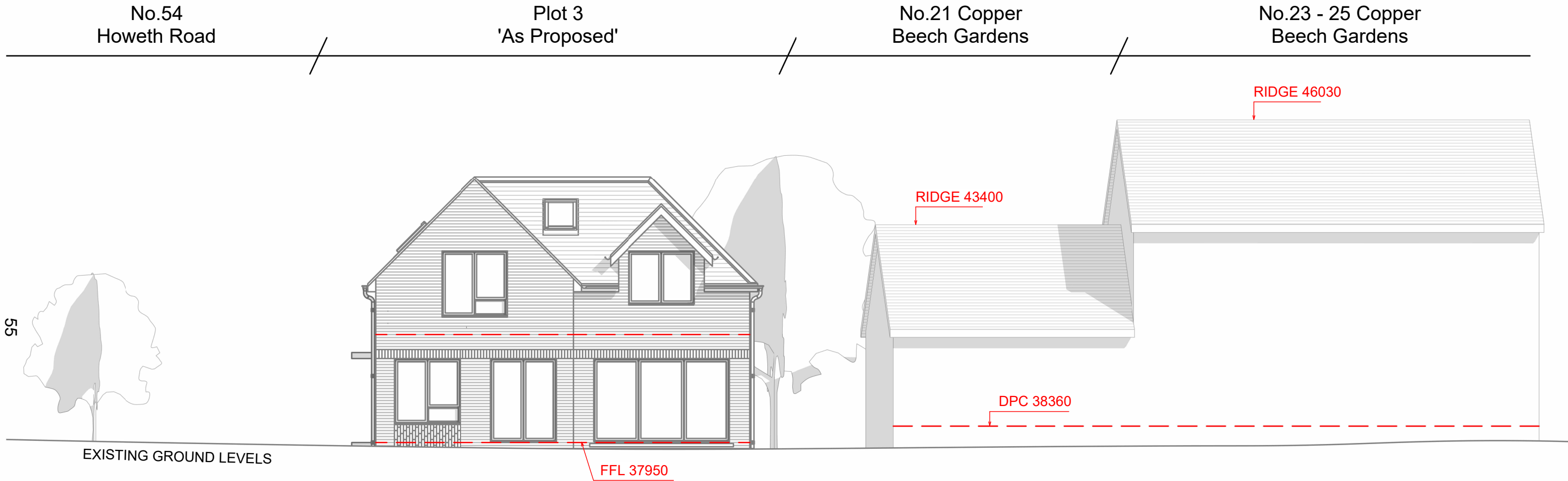
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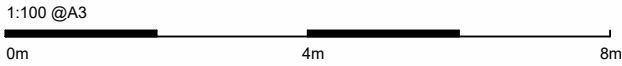
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Site Section A as Proposed
Scale: 1 : 100@A3



54 Howeth Rd, Bournemouth BH10 5EB

Revision Description

Date

Drawn by HB
Checked by DH
Scale @ A3 As indicated

All dimensions to be checked on site prior to commencement of work. Do not scale from drawing.

54 The Grove, Christchurch, BH23 2HB

01202 280 638

Drawing Status Key:
SK - Sketch P - Preliminary
D - Draft S - Submitted
A - Approved T - Tender
C - Construction IN - Information

Plot 3 - Site Section A

Drawing Ref: Status:

2071P .108 IP



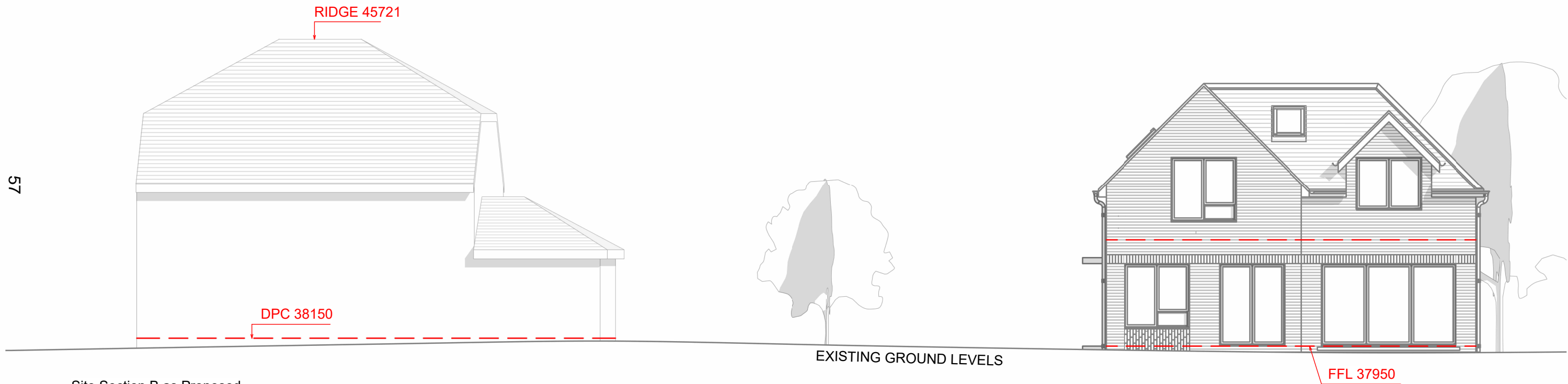
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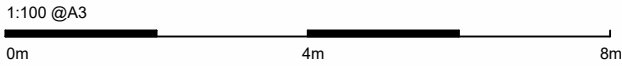
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No.54
Howeth Road

Plot 3
'As Proposed'



Site Section B as Proposed
Scale: 1 : 100@A3



54 Howeth Rd, Bournemouth BH10 5EB

Revision Description

Date

Drawn by HB
Checked by DH
Scale @ A3 As indicated

All dimensions to be checked on site prior to commencement of work. Do not scale from drawing.

54 The Grove, Christchurch, BH23 2HB

01202 280 638

Drawing Status Key:
SK - Sketch P - Preliminary
D - Draft S - Submitted
A - Approved T - Tender
C - Construction IN - Information

Plot 3 - Site Section B

Drawing Ref:

Status:

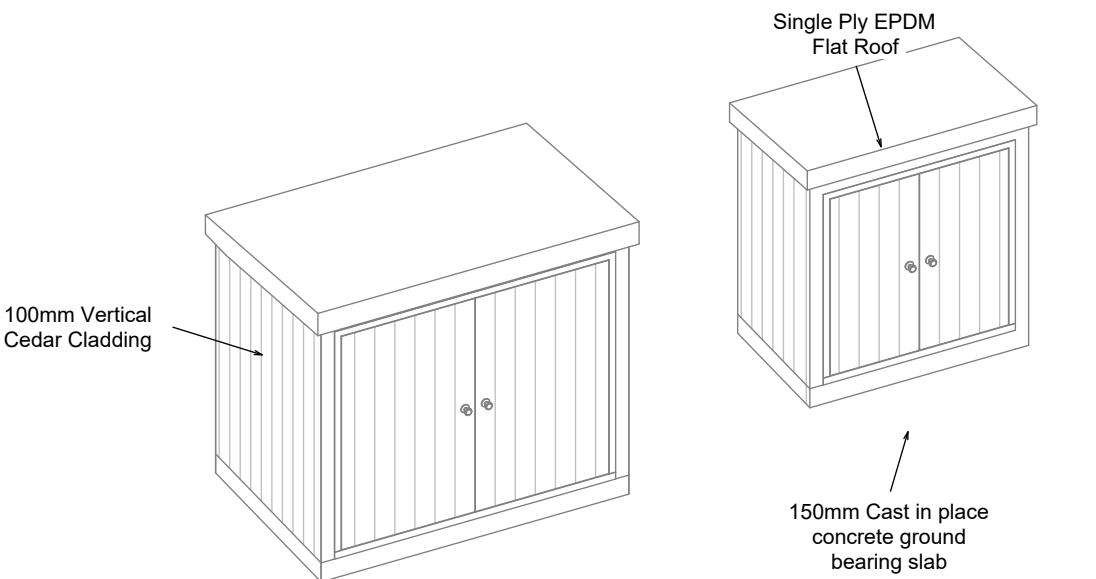
2071P .109 IP



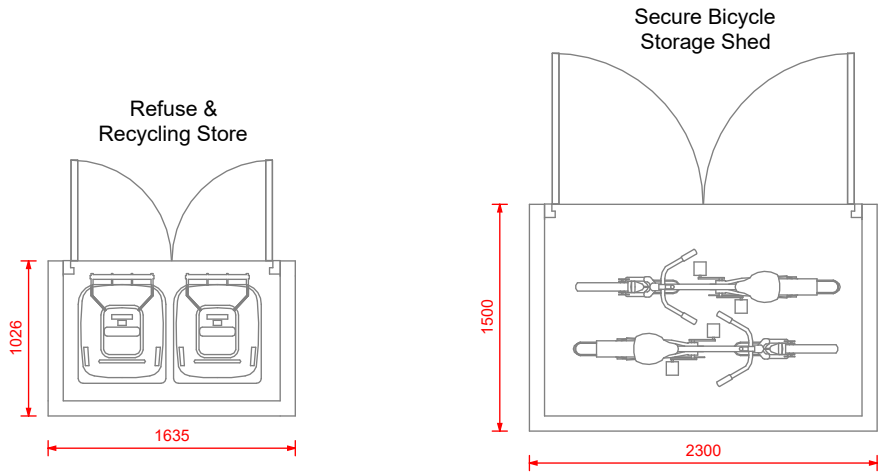
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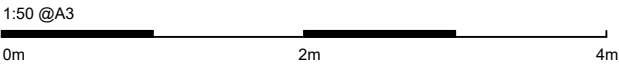
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Bin & Cycle Store - Elevation
Contextual 3D View



Bin & Cycle Store - Plans
Scale: 1 : 50@A3



54 Howeth Rd, Bournemouth BH10 5EB

Revision	Description	Date
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Drawn by HB
Checked by DH
Scale @ A3 1:50

All dimensions to be checked on site prior to commencement of work. Do not scale from drawing.

Drawing Status Key:

SK	- Sketch	P	- Preliminary
D	- Draft	S	- Submitted
A	- Approved	T	- Tender
C	- Construction	IN	- Information

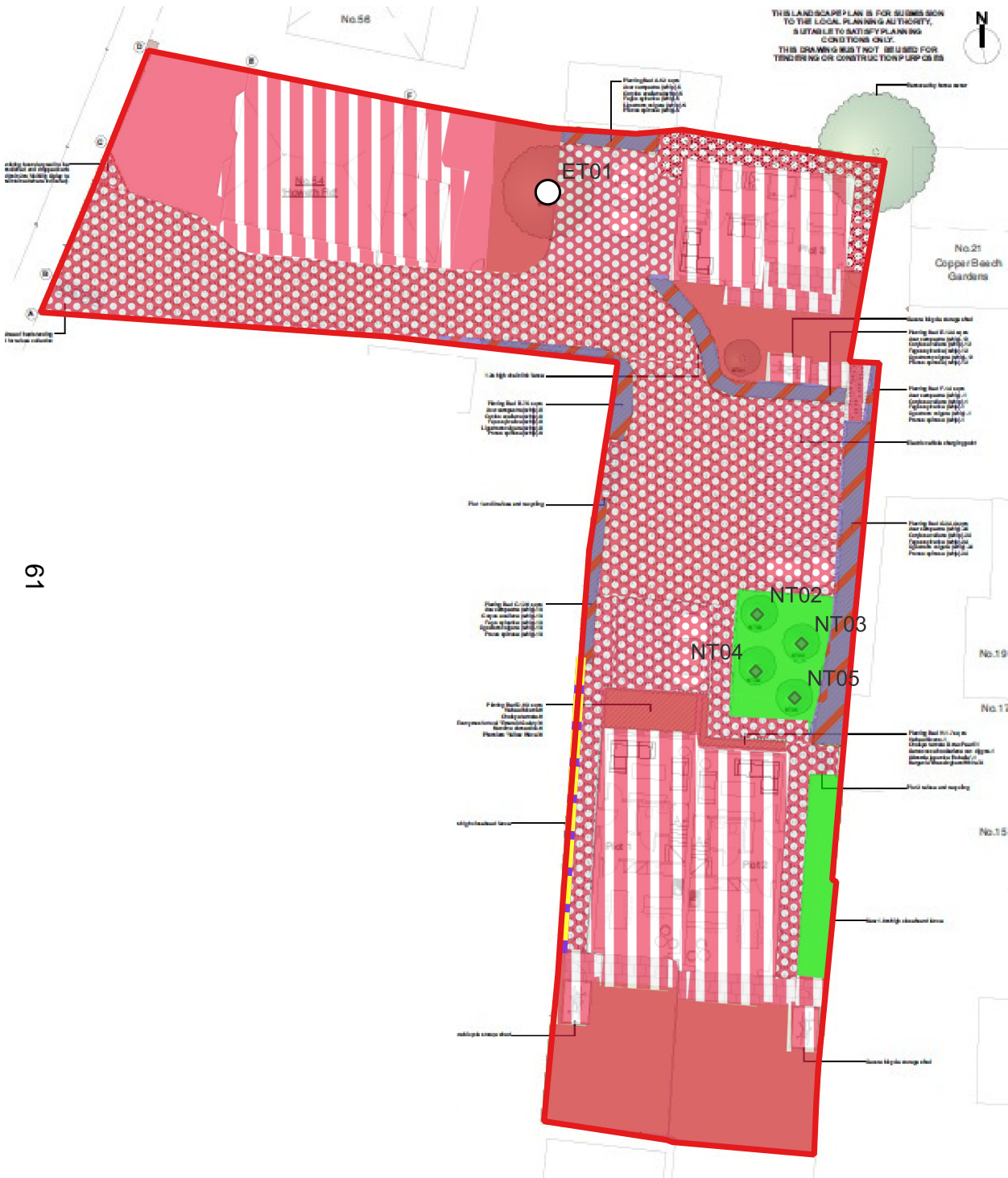
External Bin & Cycle Storage

Drawing Ref: 2071P .110 IP

Status:



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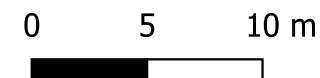


- Red Line Boundary
- ◆ Proposed Small Urban Tree (Communal area)
- Retained Tree
- Native hedgerow
- Artificial unvegetated, unsealed surface
- Developed land; sealed surface
- Mixed scrub (Communal area)
- Modified grassland (Communal area)
- Vegetated garden

Project: 54 Howeth Road

Title: UK Habitats Proposed map v.4

Date:24/09/25



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**BCP WESTERN PLANNING COMMITTEE 9
OCTOBER 2025 / EASTERN PLANNING
COMMITTEE 23 OCTOBER 2025**



Report subject	Appeal report
Meeting dates	9 / 23 October 2025
Status	Public Report
Executive summary	This report updates members of the planning committee on the Local Planning authority's' Appeal performance over the stated period
Recommendations	<p>It is RECOMMENDED that:</p> <p>The planning committee notes the contents of this report.</p>
Reason for recommendations	The content of this report is for information only.

Portfolio Holder(s):	Councillor Millie Earl, Leader of the Council and Chair of Cabinet.
Corporate Director	Glynn Barton, Chief Operations Officer
Report Authors	Katie Herrington and Simon Gould, Development Management Managers
Wards	Not applicable
Classification	For Information

Background

1. The purpose of this report is to feedback to members on planning appeal decisions determined by the Planning Inspectorate for the last 2 years. This includes a reflection and highlight of any key decisions or learnings arising from such decisions.
2. The fundamental purpose of this report is to provide transparency in the appeal performance of the planning service and to improve the quality of decision making where necessary.

Appeals Performance

3. National Government monitors the 'quality' of decision making in planning through appeal performance. It is measured by the percentage of planning decisions overturned at appeal, with a lower percentage indicative of better-quality decision making as less appeals are allowed.
4. Government targets are currently a maximum of 10% of the authorities total number of decisions on applications being made during the assessment period being overturned at appeal. This is set over an assessment period of 2 years, comprising October 2022 to September 2024¹. This includes non-majors and majors'.
5. As demonstrated by Figure 1 for major applications and Figure 2 for non-major applications, the Local Planning Authority (LPA) is performing within target for the Quality of Planning decisions. Note that the dataset has now been updated to September.

¹ [Improving planning performance: criteria for designation \(updated 2024\) - GOV.UK](#)

Proxy assessment period October 2022 – September 2022²	Total number of major application decisions³	Major decisions overturned at appeal	Quality of decisions (% overturned at appeal)	England Average (% overturned at appeal)
Total District Matters ⁴ (PS2)	202	5	2.5	2.9
Total County Matters ⁵ (SPS2)	0	0	0	0.4

Figure 1 Quality of major application decisions - taken from National Statistics Table P152 ([Live tables on planning application statistics - GOV.UK](#))

Assessment period October 2022-September 2024	Total number of non-major application decisions	Total number of decisions overturned at appeal	Quality of decisions (% overturned at appeal).	England Average (% overturn at appeal)
Total District Matters (PS2)	4,792	91	1.9	1.1

Figure 2 Quality of non-major application decisions - taken from National Statistics Table P154 - [Live tables on planning application statistics - GOV.UK](#)

6. Figure 3 provides a breakdown of appeal performance measured against appeals dismissed or allowed. It demonstrates that on average 35% of appeals are allowed.

Year: 2025 (Jan to July)	Dismissed	Allowed	Total	% overturned	NFA/ Withdrawn
January	19	9	28	32%	0
February	13	7	20	35%	0
March	18	7	25	28%	0
April	8	10	18	55%	0
May	7	5	12	42%	0
June	7	5	12	42%	0
July	10	1	11	9%	0
August	7	0	8	0%	1
September	6	1	0	15%	0
total	82	44	126	35%	0

² This period is proxy as it falls outside of the 'assessment period' as per the 'criteria for designation', the data in the table is updated on a quarterly basis, with the period to June 24 being published in June 25

³ This dataset excludes Appeals relating to planning conditions.

⁴ District Matters' comprise most applications, explicitly excluding 'County Matters'.

⁵ County Matters' applications refer to planning applications related to minerals, waste and associated development.

7. Whilst the LPA is performing within target for the national measure for the 'quality of decision making', it is still necessary to review and reflect on appeal decisions in order to provide high quality decisions, and to avoid the potential for successful cost claims. In August no appeals were allowed, with one appeal being declared as 'invalid' by the Inspector. This was because of the absence of the required BNG information.

General reflection on allowed appeals

8. Whilst the LPA is performing within target for the national measure for the 'quality of decision making', it is still necessary to review and reflect on appeal decisions in order to provide high quality decisions, and to avoid the potential for successful cost claims. Figure 4 below sets out a short summary of why the appeals in the month of June were allowed.

Appeal number	Location	Main issues	Why allowed
3358153	40 Brownsea View, Avenue, Poole	<ul style="list-style-type: none"> • character and appearance of the area; • The living conditions of the occupants • Impact on living conditions of neighbours • Impact on protected sites <p>(Delegated decision)</p>	<p>Whilst proposal does not adhere to established pattern of development in immediate area, it's not harmful in greater context.</p> <p>Inspector not agree that it would result in substandard accommodation;</p> <p>Location and siting of proposal, road and landscaping, would not result in harmful overlooking or loss of privacy</p> <p>Legal agreement addressed impact on protected sites</p>

List of live appeals

Appendix 1 provides a list of current appeals.

Options Appraisal

9. No options to consider.

Summary of financial implications

10. There are no financial implications as a direct result of this report.
11. However, it should be reminded that the Council can be subject to 'costs'⁶ if the Council were found to be behaving 'unreasonably'. Such 'unreasonable' behaviour includes procedural (relating to the process) and substantive (relating to the issues arising from the merits of the appeal) matters. Examples of unreasonable behaviour include⁷:
 - a. 'preventing or delaying development which should clearly be permitted, having regard to its accordance with the development plan, national policy and any other material considerations'
 - b. not determining similar cases in a consistent manner
 - c. imposing a condition that is not necessary, relevant to planning and to the development to be permitted, enforceable, precise and reasonable in all other respects, and thus does not comply with the guidance in the National Planning Policy Framework on planning conditions and obligation.
 - d. vague, generalised or inaccurate assertions about a proposal's impact, which are unsupported by any objective analysis

Summary of legal implications

12. None in directly relation to the content of this report.
13. However, it should be reminded that the Council can be subject to Judicial Review. A Judicial Review is a mechanism for challenging the process of a decision, rather than the decision itself. An example of this is acting contrary to procedure. However such procedure can come with financial penalties.

Summary of human resources implications

14. There are no direct human resource implications resulting from this report. However, it is reminded that the servicing of appeals can be resource heavy, particularly at a hearing or Public Inquiry.

Summary of sustainability impact

15. There are no sustainability issues arising from this report.

Summary of public health implications

16. There are no public health implications arising from this report. Summary of equality implications

Summary of risk assessment

17. Any risks associated with any appeal decisions are discussed in the body of the report. No risks have been identified in this report.

Background papers

⁶ [Claim planning appeal costs: Overview - GOV.UK](#)

⁷ [Appeals - GOV.UK](#)

Published appeal statistics and appeal decisions

Criteria Document 2024

https://assets.publishing.service.gov.uk/media/674f2ec08b522bba9d991af9/Criteria_Document_2024.pdf

Live Planning Statistics tables - [Live tables on planning application statistics - GOV.UK](#)

Appendices

Appendix 1 – list of outstanding appeals.

Appeal types

REF = refusal of a planning application

ENF = Appeal against an enforcement notice

NON = Non Determination Appeal

RTP = Refusal of works to a TPO

RCL = Refusal of a Certificate of Lawfulness

TRF = Tree Fast Track Appeal Process

Appeal Method

WR= Written Representations

HH - Householder Fast Track Appeal

appeal_number	appeal_received	proposal	location	App number	Appeal type	determined at committee or delegated
P/25/02618/ADV	29/09/2025	Freestanding advertising structure featuring one internally illuminated sequential display screen facing West to replace four existing poster panels.	Land adj. Esso Service Station & Tesco Express The Grove & Barrack Road Christchurch BH23 2EX	P/25/02618/ADV	WR	Delegated
APP/24/01377/F	26/09/2025	Renovate and extend the existing office building to include undercroft parking with separate cycle and refuse stores.	Westons Point Boat Yard, Turks Lane, Poole, BH14 8EW	APP/24/01377/F	WR	Delegated
P/25/02050/HOU	23/09/2025	First floor extension over existing garage to create additional bedroom. Conversion of existing garage below to habitable space, including addition of two windows	20 Hood Crescent Bournemouth BH10 4DD	P/25/02050/HOU	HH	Delegated
P/25/00966/FUL	23/09/2025	Retrospective subdivision of a house into 2 dwellinghouses.	6 Wycliffe Road Bournemouth BH9 1JP	P/25/00966/FUL	WR	Delegated
P/25/00611/HOU	17/09/2025	Side extension and front infill extension to line of front bay, including formation of integral garage Increase ridge height, new roof form and loft conversion including dormers and rooflight Updated fenestration and material externally	133 River Way Christchurch BH23 2QL	P/25/00611/HOU	HH	Delegated
APP/24/01281/P	16/09/2025	Outline permission to demolition of existing dwelling and erection of a block of 8 x flats and 1 x dwelling with associated works.	4 Wallace Road, Broadstone, BH18 8NG	APP/24/01281/P	WR	Delegated
APP/24/00817/F	15/09/2025	Loft conversion including side and rear windows	First Floor Flat, 63 Sandbanks Road, Poole, BH14 8BS	APP/24/00817/F	HH	Delegated

appeal_number	appeal_received	proposal	location	App number	Appeal type	determined at committee or delegated
P/25/01503/HOU	10/09/2025	Brick and pier concrete block wall with aluminium black slat panels. Install a non-habitable outbuilding/workshop made from a shipping container. Clad in t&g composite cladding. Flat mono-pitched roof with photovoltaic panels.	39 Runton Road Poole BH12 1NX	P/25/01503/HOU	HH	Delegated
ENF/25/0063	10/09/2025	Erection of a single storey, flat roof, infill extension with front facing parapet wall - Existing unauthorised structure	35 Burnham Drive Bournemouth BH8 9EX	7-2024-29380	WR	Delegated
P/25/00440/TTPO	08/09/2025	T1- Oak Tree - Re pollard the whole crown by 2m to previous pruning points. Crown lift lower branches up to a height of 4m from ground level. Lesser works granted: GRANT: T1 Oak - Crown lift to 4m from ground level by removal of secondary and tertiary branches, and epicormic growth only.	28 Portfield Close Christchurch BH23 2AH	P/25/00440/TTPO	TRF	Delegated
P/25/00822/FUL	03/09/2025	Alterations and extensions including new roof to form 1st floor level to garage and conversion to a 2 bedroom dwelling	The Oaks 273 Rossmore Road Poole BH12 2HQ	P/25/00822/FUL	WR	Delegated
P/25/02332/HOU	01/09/2025	Install window to bathroom wall (Retrospective application)	2A Colville Road Bournemouth BH5 2AG	P/25/02332/HOU	HH	Delegated
P/25/00692/HOU	22/08/2025	Replacement garage with first floor accommodation over and single storey rear extension	29 Dunyeats Road Poole Broadstone BH18 8AB	P/25/00692/HOU	HH	Delegated
8/24/0128/TTPO	21/08/2025	T1 - Holm Oak - Fell (Please see attached tree spec ref: 08024)	35 Jumpers Avenue Christchurch BH23 2ER	8/24/0128/TTPO	TRF	Delegated
P/25/01701/HOU	20/08/2025	Retrospective application for erection of an ancillary outbuilding alongside a pre-existing boundary wall	122 Matchams Lane Christchurch BH23 6AN	P/25/01701/HOU	HH	Delegated
7-2024-26646-A	20/08/2025	Use of existing attached annexe as holiday let	20 Wilverley Avenue Bournemouth BH8 0HT	7-2024-26646-A	WR	Delegated

appeal_number	appeal_received	proposal	location	App number	Appeal type	determined at committee or delegated
APP/25/00041/F	20/08/2025	Demolition of existing conservatory. Removal of existing roof. Addition of new first floor with pitched roof. Re-modelling of existing building to include fenestration and internal changes.	31 Springfield Crescent Poole BH14 0LL	APP/25/00041/F	HH	Committee
APP/24/01329/F	13/08/2025	Extend the existing first floor of the rear building to create a 2 bedroom self-contained flat & extension to existing garage block to create 1 additional garage	Dorset Lake Manor 155 Sandbanks Road Poole BH14 8EL	APP/24/01329/F	WR	Delegated
APP/25/00061/F	11/08/2025	Sever the land and erect a detached bungalow at the rear with associated cycle store.	71 Ashley Road Poole BH14 9BT	APP/25/00061/F	WR	Delegated
P/25/00748/HOU	08/08/2025	Enlargement of existing ground floor balcony	3 The Moorings 2 Willow Way Christchurch BH23 1JJ	P/25/00748/HOU	HH	Delegated
APP/24/01166/F	08/08/2025	Erection of detached annex building, modified entrance/driveway with new gate and parking/turning area	6 Cotton Close, Broadstone, BH18 9AJ	APP/24/01166/F	HH	Delegated
P/25/00365/HOU	04/08/2025	Bungalow re-modelling. Demolish Garage, erect side & rear extensions, enlarge roof to form first floor accommodation.	44 Minterne Road Christchurch BH23 3LE	P/25/00365/HOU	HH	Committee
7-2024-15936-L	04/08/2025	Variation/Relief of condition 3 (Dropped Kerb) and Condition 5 (Fenced Enclosure/Planter) of Application Number 7-2023-15936-K: Change of use from ancillary attached to Beauty Salon (Sui Generis) to a 2-bedroom dwelling (C3).	70A Heathwood Road Bournemouth BH9 2JZ	7-2024-15936-L	WR	Delegated
P/25/00395/HOU	31/07/2025	Two storey rear extension with modifications to existing roof and existing dormers, an additional front dormer and rear Juliet balconies	109 East Avenue Bournemouth BH3 7BX	P/25/00395/HOU	HH	Delegated
P/25/00585/FUL	30/07/2025	Change of use of C3 dwelling to Sui Generis HMO (11 beds) for a maximum of 11 occupants, with outbuilding removal, cycle store, single storey rear extension and roof extension, dropped kerb and access and parking.	1 Wolseley Road Poole BH12 2DP	P/25/00585/FUL	WR	Delegated
C/2023/1437	30/07/2025	1. Means of enclosure; 2. Repairs to listed Building 3. The siting of a portable building See case ref: 2021/0668	Throop Mill Throop Road Bournemouth BH8 0DL	Enforcement	WR	Delegated

appeal_number	appeal_received	proposal	location	App number	Appeal type	determined at committee or delegated
TP/24/00278/X	28/07/2025	T1- Maritime Pine- Fell- Tree is a poor specimen that is leaning over boundary. Tree has recently had a branch failure. Due to lack of suitable pruning points tree should be removed. T2- Scots Pine- Fell- Tree is a poor specimen which is leaning into neighbouring cypress tree. Tree is causing damage to surrounding tree. T2 has a low future retention. T3- Monterey Pine- Reduce selected branches by 4m. With the removal of T1 over extended branches could fail due to less protection from the wind. Work will not be detrimental to the health of the tree.	21A Bury Road Poole BH13 7DE	TP/24/00278/X	TRF	Delegated
P/25/00608/FUL	28/07/2025	Extend and alter the existing building and sever the plot to create two houses with associated access and parking	9 Mountbatten Road Poole BH13 6JE	T2- Scots Pine- FWR	FWR	Delegated
P/25/00635/HOU	23/07/2025	Demolition of garage and construction of replacement garage in the same location on the site. Erection of new timber fencing to adjacent rear gardens footpath. (Retrospective application)	1 York Close Christchurch BH23 2DB	T3- Monterey Pine- HH	HH	Delegated
8/24/0861/PIP	23/07/2025	Development of the site to provide 9 residential properties	Land at Jesmond Avenue Jesmond Avenue Christchurch BH23 5AY	8/24/0861/PIP	WR	Delegated
P/25/00885/HOU	21/07/2025	Proposed demolishing of existing garage to side and the two storey projection to the rear aspect. Build single storey extension to side to form Granny annexe living accommodation integrated with main house and two storey extension to rear and new raised walkway / steps to the front entrance of the property. Convert existing hip roof to gables with the fitting of solar panels to all elevations.	29 Lascelles Road Bournemouth BH7 6NF	P/25/00885/HOU	HH	Delegated
ENF/25/0107	17/07/2025	The unauthorised erection of a boundary wall more than 1 metre in height adjacent to the highway, as shown in the approximate position outlined in red on the attached site location plan.	7 Leven Avenue Bournemouth BH4 9LH		WR	Delegated

appeal_number	appeal_received	proposal	location	App number	Appeal type	determined at committee or delegated
P/25/01129/HOU	11/07/2025	Loft conversion extension by adding a new section of rear dormer to the rear, south-facing roof pitch.	79 Salterns Road Poole BH14 8BL	P/25/01129/HOU	HH	Delegated
P/25/00033/HOU	11/07/2025	Rear & side extension and new roof incorporating loft conversion.	28 Ricardo Crescent Christchurch BH23 4BX	P/25/00033/HOU	HH	Delegated
P/25/00010/FUL	11/07/2025	Installation of replacement UPVC windows to first, second and third floors of the front elevation (retrospective)	Caspian House 111 Old Christchurch Road Bournemouth BH1 1EP	P/25/00010/FUL	WR	Delegated
P/25/00851/ADV	30/06/2025	3 No. Fascia signs on frontage of building and timber covered area. Flag advert displayed on roof above entrance. Mobile advert - banner flag.	58-61 Westover Road Bournemouth BH1 2BZ	P/25/00851/ADV	WR	Delegated
7-2025-4531-AB	30/06/2025	Retrospective consent sought for timber pergola and external seating	Funky Griller 58-61 Westover Road Bournemouth BH1 2BZ	7-2025-4531-AB	WR	Delegated
P/25/00862/TTPO	27/06/2025	T2- Monterey Pine: fell to ground level. T5- Monterey Cypress: fell to ground level. T6- Monterey Cypress: reduce height to 10m and crown spread to 9m leaving a balanced crown. T7- Pine: fell to ground level. All reasons for this work and site map showing location of the trees are on the MWA Arboricultural Appraisal Report attached to this planning application.	Mudehaven Court 64 Mudeford Christchurch BH23 3NN	P/25/00862/TTPO	TRF	Delegated
C/2024/2025	27/06/2025	Without planning permission, the erection of an extension to house an outdoor kitchen area with structures, the construction of a raised platform with balustrade and steps to the rear of the dwelling.	3 Ashford Road Bournemouth BH6 5QB	Enforcement	WR	Delegated

appeal_number	appeal_received	proposal	location	App number	Appeal type	determined at committee or delegated
P/25/00867/CLP	26/06/2025	<p>Certificate of lawfulness to Lower the south side wall of the house by up to 525mm.</p> <p>The house is 3 storey (basement, ground and 1st) with living areas on the top (1st) floor. The wall forms the boundary to a balcony on the 1st floor level. The top of the existing wall is 1625mm above the finished floor level of the balcony. The proposal is to lower the wall so the top is at a height of at least 1100mm above the balcony finished floor level.</p> <p>The existing wall is zinc clad for the full height. The proposed reduced height wall would have identical finishes to that of the existing wall.</p>	8B Partridge Walk Poole BH14 8HL	P/25/00867/CLP	WR	Delegated
7-2024-9354-F	23/06/2025	Application for a Lawful Development Certificate for proposed formation of 3 areas of hardstanding within the curtilage of the residential planning unit	1346 Christchurch Road Bournemouth BH7 6ED	7-2024-9354-F	WR	Delegated
8/24/0677/FUL	13/06/2025	Demolish existing dwelling and replace with two dwellings	4 Knightwood Close Christchurch BH23 4NE	8/24/0677/FUL	WR	Delegated
7-2024-6653-U	13/06/2025	T1 Sycamore . Fell to ground level and carry out replacement planting with a 3M high container grown tree of a species to be agreed with the council.	22A Ken Road Bournemouth BH6 3EU	7-2024-6653-U	TRF	Delegated
TP/24/00815/X	12/06/2025	2 x Western Red Cedars - Crown reduction by 5.5 m & 7.5 m	Pinehurst Hall, 23 Burton Road, Poole, BH13 6DT	TP/24/00815/X	TRF	Delegated
P/25/00187/HOU	08/06/2025	Convert loft to habitable space including a side dormer	44 Windsor Road Christchurch BH23 2EE	P/25/00187/HOU	HH	
P/25/00524/FUL	07/06/2025	Sever plot and erect chalet bungalow adjacent to 15a Jacqueline Road (revised scheme)	15A Jacqueline Road Poole BH12 3JQ	P/25/00524/FUL	WR	Delegated
P/25/00030/FUL	07/06/2025	Sever land and erect 1 No 3 bedroom house with parking	15 Uppleby Road Poole BH12 3DB	P/25/00030/FUL	WR	Delegated
APP/24/00860/F	25/05/2025	Site severance and erection of new dwelling	5 Cobham Way Poole Wimborne BH21 1SJ	APP/24/00860/F	WR	Delegated

appeal_number	appeal_received	proposal	location	App number	Appeal type	determined at committee or delegated
7-2025-26319-D	21/05/2025	T1 -Monterey Pine - Fell to ground level	1 Tasso Riverbank 40 1 Wick Lane Bournemouth BH6 4JX	7-2025-26319-D	HR	Delegated
APP/24/01342/F	13/05/2025	Change of use from single garage to a dwellinghouse	The Garage Between 22 Banks Road and 1 Panorama Road, Poole, BH13 7QE	APP/24/01342/F	WR	Delegated
8/24/0700/FUL	09/05/2025	Retrospective application for a separate self-contained dwelling.	44 Portfield Road Christchurch BH23 2AG	8/24/0700/FUL	WR	Delegated
P/25/00201/TTPO	02/05/2025	T1 Lime - Fell to ground level and replant with Fastigate Hornbeam.	15 Shelley Close Christchurch BH23 4HW	P/25/00201/TTPO	TRF	Delegated
7-2024-891-AF	01/05/2025	Outline Application for partial retention of building including main facades at three levels on the Westover Road and Hinton Road frontages to allow for the construction of 936sq.m. commercial floorspace at lower ground and upper ground levels, comprising three units for use within either E (a) (retail), E(b) (restaurant), F1 (learning and non-residential institution) or F2 (b, c & d) (local community); 85 apartments, 26 car parking spaces, associated servicing facilities, refuse and cycle storage.	35 43 Westover Road Bournemouth BH1 2BZ	7-2024-891-AF	WR	Delegated
8/24/0208/FUL	30/04/2025	Change of use from agricultural to dog day care and erection of associated buildings and infrastructure	Land off Christchurch Road West Parley Bournemouth Dorset BH23 6BB	8/24/0208/FUL	WR	Delegated
7-2025-4582-AA	22/04/2025	T1 - Holm oak - Cut back branches which grow above the garden of Tattersalls back by 4m to the edge of the lawn. T2 -Sycamore - Prune back branches to provide a 2m separation from the summer-house.	East Cliff Manor 45 Christchurch Road Bournemouth BH1 3PH	7-2025-4582-AA	TRF	Delegated

appeal_number	appeal_received	proposal	location	App number	Appeal type	determined at committee or delegated
7-2024-11568-F	16/04/2025	Demolition of garage and erection of four terraced dwellings and a coach house style dwelling and associated landscaping and infrastructure	57 Lansdowne Road Bournemouth BH1 1RN	7-2024-11568-F	WR	Delegated
7-2024-9354-G	15/04/2025	Demolition of 2 storey side elevation, sever land and erect an extension to form additional dwelling to the side of existing dwelling. Sever land to the rear and erection a detached 2 storey building comprising 2no. 1 bedroom flats with on site car parking and provision for bicycle and refuse storage	1346 Christchurch Road Bournemouth BH7 6ED	7-2024-9354-G	WR	Non- det
APP/24/00815/F	09/04/2025	Use of outbuilding as self-contained unit of accommodation. Retrospective application.	12 Dalkeith Road, Poole, BH13 6LQ	APP/24/00815/F	WR	Delegated
8/24/0718/HOU	07/04/2025	Retrospective consent for outbuilding for use in part associated with short term holiday lets and partly for family use as spare bedroom accommodation	6 Stroud Gardens Christchurch BH23 3QY	8/24/0718/HOU	WR	Delegated
ENF/25/0012	03/04/2025	Refused retrospective planning application 8/24/0180/FUL for change of use to commercial airport car parking with associated works, APNR etc. Refused retrospective advertisement application 8/24/0181/ADV for 49 x non-illuminated signs.	Theme Park Merritown Lane Christchurch BH23 6BA	Enforcement	WR	Delegated
APP/24/00807/F	03/04/2025	Removal of existing sunroom and addition of bespoke garden room to rear elevation	1 Rowington Hall, 4 Dover Close, Poole, BH13 6EA	APP/24/00807/F	WR	Delegated
7-2023-6116-G	01/04/2025	Erection of 2 x 1-bed flats (Use Class C3) with associated access at the rear of existing commercial unit (Use Class E(a))	561 Christchurch Road Bournemouth BH1 4AH	7-2023-6116-G	WR	Delegated
7-2024-18783-D	18/03/2025	Certificate of lawfulness to establish use as a 7-bedroom HMO (Sui Generis)	61 Gresham Road Bournemouth BH9 1QS	7-2024-18783-D	WR	Delegated
8/23/0675/CLE	14/03/2025	Application for a Lawful Development Certificate for an existing conservatory to the West Elevation.	The Barn 41A Burley Road Christchurch BH23 7AJ	8/23/0675/CLE	WR	Delegated
7-2024-5603-AQ	07/03/2025	T43- Red Oak - To reduce branches close to the building to a clearance of 3m. To reduce the whole crown by 2m and shape.	Homedale House 30A Wimborne Road Bournemouth BH2 6QB	7-2024-5603-AQ	TRF	Delegated

appeal_number	appeal_received	proposal	location	App number	Appeal type	determined at committee or delegated
C/2024/1952	06/03/2025	Without planning permission, a single storey side extension with extract flue, covered outdoor structure located to the rear, and pergola structure located to the front, fixed jumbrella and new boundary treatment in the approximate positions hatched black.	Palm Lounge Bar, Poole Hill, BOURNEMOUTH, BH2 5PW and Bermuda Cafe, Poole Hill, BOURNEMOUTH, BH2 5PW	Enforcement	WR	Delegated
8/24/0752/FUL	27/02/2025	Division of existing garden and construction of new dwelling	Glenlyn Bramble Lane Christchurch BH23 5NB	8/24/0752/FUL	WR	Delegated
8/24/0674/HOU	26/02/2025	Retain an existing 1.8m high fence that replaced a section of an existing hedge. Retrospective application.	2 Jellicoe Drive Christchurch BH23 3SL	8/24/0674/HOU	HH	Delegated
APP/24/00829/P	24/02/2025	Demolition of existing dwelling and erection of four no. detached bungalows, formation of access and parking.	48 Hillbourne Road, Poole, BH17 7JB	APP/24/00829/P	WR	Delegated
7-2024-2952-J	17/02/2025	Outline planning application for extension and conversion of the existing building into a block of 8no. flats and a 10no. bedroom HMO with car parking.	117-119 Malmesbury Park Road Bournemouth BH8 8PS	7-2024-2952-J	WR	Delegated
APP/24/00938/F	13/02/2025	Demolition of an existing dwellinghouse; erection of a replacement dwelling and workshop/store outbuilding and subdivision of the plot to erect a further single detached dwellinghouse with associated access, parking and landscaping.	40 Brownsea View Avenue, Poole, BH14 8LQ	APP/24/00938/F	WR	Delegated
C/2022/1023	11/02/2025	Without planning permission, the erection of raised platforms to the rear of the dwelling.	17, The Litzo, 37-39 Boscombe Spa Road, Bournemouth, BH5 1AS	Enforcement	WR	Delegated
7-2024-26969-D	03/02/2025	Outline application with some matters reserved for the demolition of existing house and the erection of a block of 5 flats with off road car parking and associated works	5 Seafield Road Bournemouth BH6 3JE	7-2024-26969-D	WR	Delegated
7-2024-23085-I	03/02/2025	Application for a Lawful Development Certificate for an Existing Use of Flat 2B as a single dwelling house	Flat 2B Whitley Court West Cliff Gardens Bournemouth BH2 5HL	7-2024-23085-I	WR	Delegated

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S78/2025/7598	28/01/2025	Alterations & additions including replacement of existing roof with 2 additional floor levels incorporating pitched roof with dormers & second floor balcony facilities to provide 4 flats	Chessel Court 1A Chessel Avenue Bournemouth BH5 1LQ	7-2024-29057	WR	Delegated
APP/24/00895/J	27/01/2025	Certificate of Existing Use or Development for an annexe that has been in C3 residential use as a separate dwelling	Annexe, 9 Enfield Crescent, Poole, BH15 3SJ	APP/24/00895/J	WR	Delegated
APP/24/00362/F	15/01/2025	Plot severance and the conversion and extension of the existing outbuilding/garage to create a detached dwelling with associated access and parking.	29 Western Road, Poole, BH13 7BH	APP/24/00362/F	WR	Delegated
S78/2025/7595	14/01/2025	Erection of a single storey rear extension, erection of a two-storey side extension, hip to gable roof alteration and associated internal remodelling.	120 Parkwood Road Bournemouth BH5 2BN	7-2024-14198-B	WR	Delegated
S78/2024/7593	23/12/2024	Retrospective application for the erection of a single storey extension and outdoor covered area to rear, pergola to the front and alterations to boundary treatment	Bermuda Cafe Poole Hill Bournemouth BH2 5PW	7-2024-3617-J	WR	Delegated
APP/23/00327/F	15/10/2024	Full demolition of the existing dwelling and erection of replacement dwelling.	1 Avalon, Poole, BH14 8HT	APP/23/00327/F	WR	Delegated
8/22/0445/OUT	15/10/2024	Outline application for demolition of existing buildings and erection of a mixed use block consisting of 3 offices and 25 apartments with associated bin and cycle stores	195 & 195A Barrack Road Christchurch BH23 2AR	8/22/0445/OUT	WR	Delegated
S78/2024/7582	08/10/2024	Alterations, extension and conversion of existing dwelling to form 10 apartments. Erection of a coach house with associated bin/bike stores, parking and access. Demolition of existing extension and carport.	34 West Overcliff Drive Bournemouth BH4 8AB	7-2023-5666-N	WR	Delegated
EN/23/00097	03/10/2024	Email from Building Control regarding an office building being built	227 Bournemouth Road, Poole, BH14 9HU	EN/23/00097	WR	Delegated
EN/24/00123	09/09/2024	Linked to previous case EN/22/00262 - Change of use from office to self contained living unit. APP/22/01304/F Refused on 09/04/2024 - Retrospective planning application for a ground floor flat to be used as a dwelling which was formerly office area.	300 Ringwood Road, Poole, BH14 0RY	EN/24/00123	WR	Delegated

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APP/23/01383/F	20/08/2024	Single storey rear extension; single storey side extension; first floor dormer; Juliet balcony to rear, car port; demolition of garage and associated works.	Conifers, Merley Park Road, Wimborne, BH21 3DD	APP/23/01383/F	HH	Delegated
8/24/0221/FUL	01/07/2024	Demolition of the existing building and erection of 2 detached dwellings with associated access and parking arrangements (revised scheme)	Beech Lawn 51 Hinton Wood Avenue Christchurch BH23 5AE	8/24/0221/FUL	WR	Delegated
APP/23/01228/F	25/04/2024	Partial demolition of the garage, erect new side elevation walling, sever land and erect 2 detached houses with associated car parking (revised scheme)	4 Burton Road, Poole, BH13 6DU	APP/23/01228/F	WR	Non- det
APP/22/01570/F	23/04/2024	Proposed change of use from annex to guesthouse (C1)	Annexe, 40 Sterte Esplanade, Poole, BH15 2BA	APP/22/01570/F	WR	Delegated
APP/23/01318/F	17/04/2024	Erection of 2 storey front and side extension, new porch and chimney stack to side. Amend finishing materials and replace windows.	10 Felton Road, Poole, BH14 0QS	APP/23/01318/F	HH	Delegated
APP/23/01397/P	16/04/2024	Outline application to demolish existing bungalow and garage. Construct 3 houses.	6 Pinewood Road, Poole, BH13 6JS	APP/23/01397/P	WR	Delegated
APP/23/00154/F	09/04/2024	Use of the buildings and land for commercial activities falling within Sui Generis restaurant/takeaway, erection of toilet facilities.	Unit 3 Sharp Road, Poole, BH12 4BG	APP/23/00154/F	WR	Non-Det
8/23/0279/TTPO	26/03/2024	T1 - Oak - Fell.	8 Redwood Drive Winkton Christchurch BH23 7BP	8/23/0279/TTPO	TRF	Delegated
TP/22/00810/X	13/03/2024	T1 Oak in group 2, reduce crown radius from 10m to 5m to stop it overhanging garage and greenhouse, also reduce height to 5m to maintain overall shape. The base of the trunk is 7.9m from the garage and 6.3m from the greenhouse, but the tree is leaning so that the centre of the crown is 1m closer than the base of the tree.	5 Sharlands Close, Broadstone, BH18 8NB	TP/22/00810/X	TRF	Delegated
TP/23/00360/X	13/02/2024	T7: Silver Birch - Fell to ground level. Replacement planting: One container grown lime to be planted in the rear garden within 5m of tree.	23 Widworthy Drive, Broadstone, BH18 9BD	TP/23/00360/X	TRF	Delegated

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APP/23/01163/K	09/02/2024	Certificate of Lawfulness for Proposed use or operation for the erection a rear extension to the dwelling, insertion of velux windows and the erection of a detached garage.	98A Ashington Lane, Wimborne, BH21 3DG	APP/23/01163/K	WR	Delegated
APP/23/00865/F	31/01/2024	Side extension to provide new first floor office and storage space over open car park under.	6 Witney Road, Poole, BH17 0GH	APP/23/00865/F	WR	Delegated
8/21/0331/CONDR	31/01/2024	Demolition of existing dwelling and erection of 14 apartments with underground parking. Variation of Condition 2 (approved plans) of Planning Application 8/20/0752/OUT to make revisions to the design of the building. - Application to discharge conditions 10, 11 and 14 Does the	20 Chewton Farm Road Christchurch Dorset BH23 5QN		WR	Committee
ENF/23/0222	24/01/2024	Unauthorised marquees	The Boathouse 9 Quay Road Christchurch BH23 1BU	Enforcement	WR	Delegated